

# GENERAL NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS - IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
- DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.



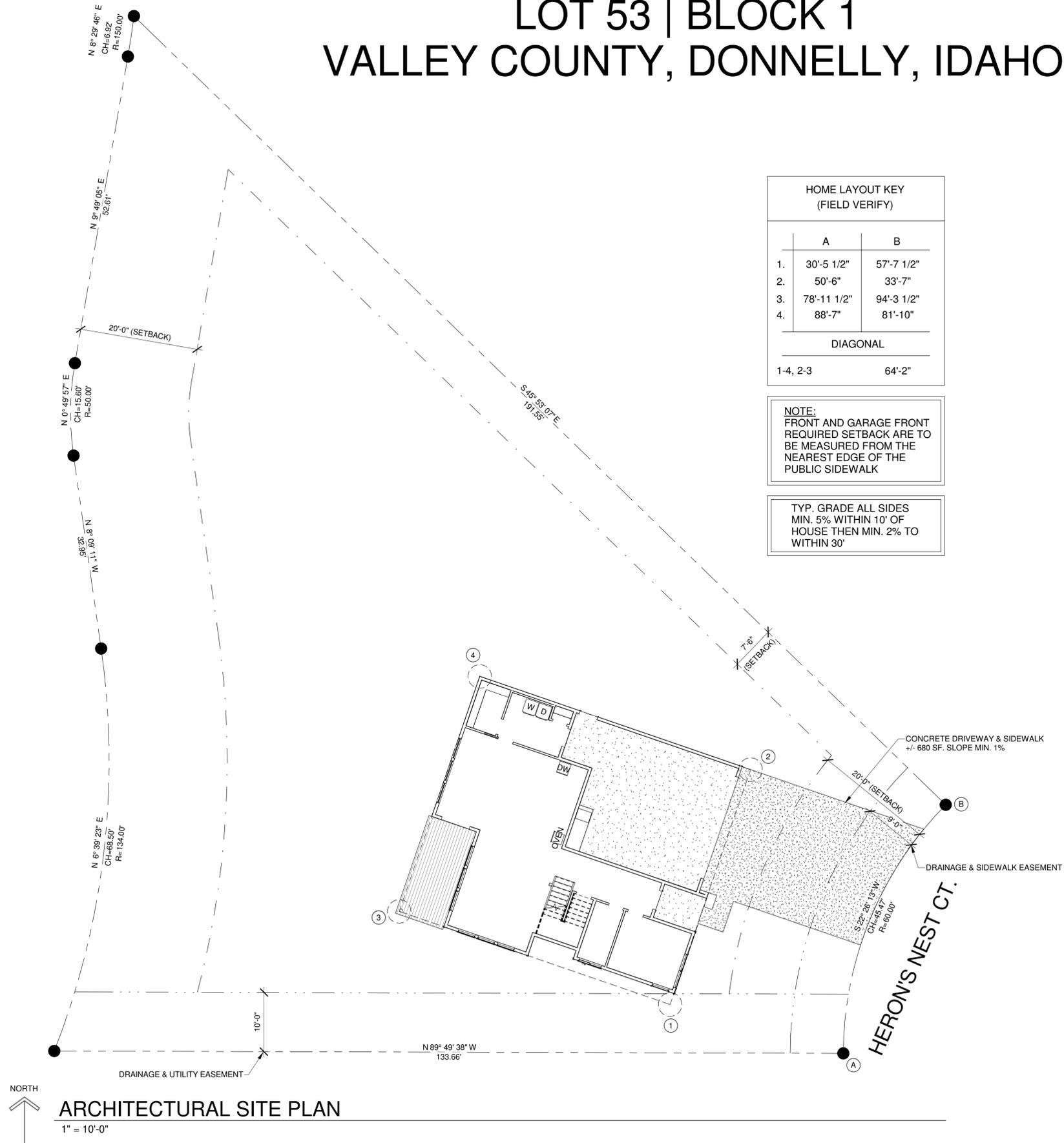
## PRESCRIPTIVE COMPONENT INSULATION & FENESTRATION REQUIREMENTS

CLIMATE ZONE	5
FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.55
GLAZING FENESTRATION U-FACTOR	NR
CEILING R-VALUE	49
CRAWL SPACE WALL R-VALUE	15/19
FLOOR R-VALUE	30
WOOD FRAME WALL R-VALUE	20 or 13+5

## GENERAL DESIGN GUIDELINES

BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION
ENERGY CODE:	INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
DESIGN LOADS:	
GROUND SNOW LOAD:	20 PSF
ROOF SNOW LOAD:	25 PSF
ROOF DEAD LOAD:	17 PSF
FLOOR LIVE LOAD:	40 PSF
FLOOR DEAD LOAD:	10 PSF
LATERAL LOAD:	AS ADOPTED BY IRC
SEISMIC DESIGN CATEGORY:	C (DETACHED ONE or TWO-FAMILY DWELLING)
BASIC WIND SPEED:	115 MPH
WIND EXPOSURE CATEGORY:	B
SOIL PROPERTIES:	ASSUMED 1,500 PSF BEARING CAPACITY
FROST DEPTH:	24-INCHES

# CRANE SHORES SUBDIVISION LOT 53 | BLOCK 1 VALLEY COUNTY, DONNELLY, IDAHO



HOME LAYOUT KEY  
(FIELD VERIFY)

	A	B
1.	30'-5 1/2"	57'-7 1/2"
2.	50'-6"	33'-7"
3.	78'-11 1/2"	94'-3 1/2"
4.	88'-7"	81'-10"
DIAGONAL		
1-4, 2-3	64'-2"	

NOTE:  
FRONT AND GARAGE FRONT  
REQUIRED SETBACK ARE TO  
BE MEASURED FROM THE  
NEAREST EDGE OF THE  
PUBLIC SIDEWALK

TYP. GRADE ALL SIDES  
MIN. 5% WITHIN 10' OF  
HOUSE THEN MIN. 2% TO  
WITHIN 30'



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

LOT 53 | BLOCK 1 CRANE SHORES SUBDIVISION  
14 HERONS NEST COURT  
VALLEY COUNTY DONNELLY IDAHO

## ARCHITECTURAL SITE PLAN

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**AS1**

## FOUNDATION NOTES

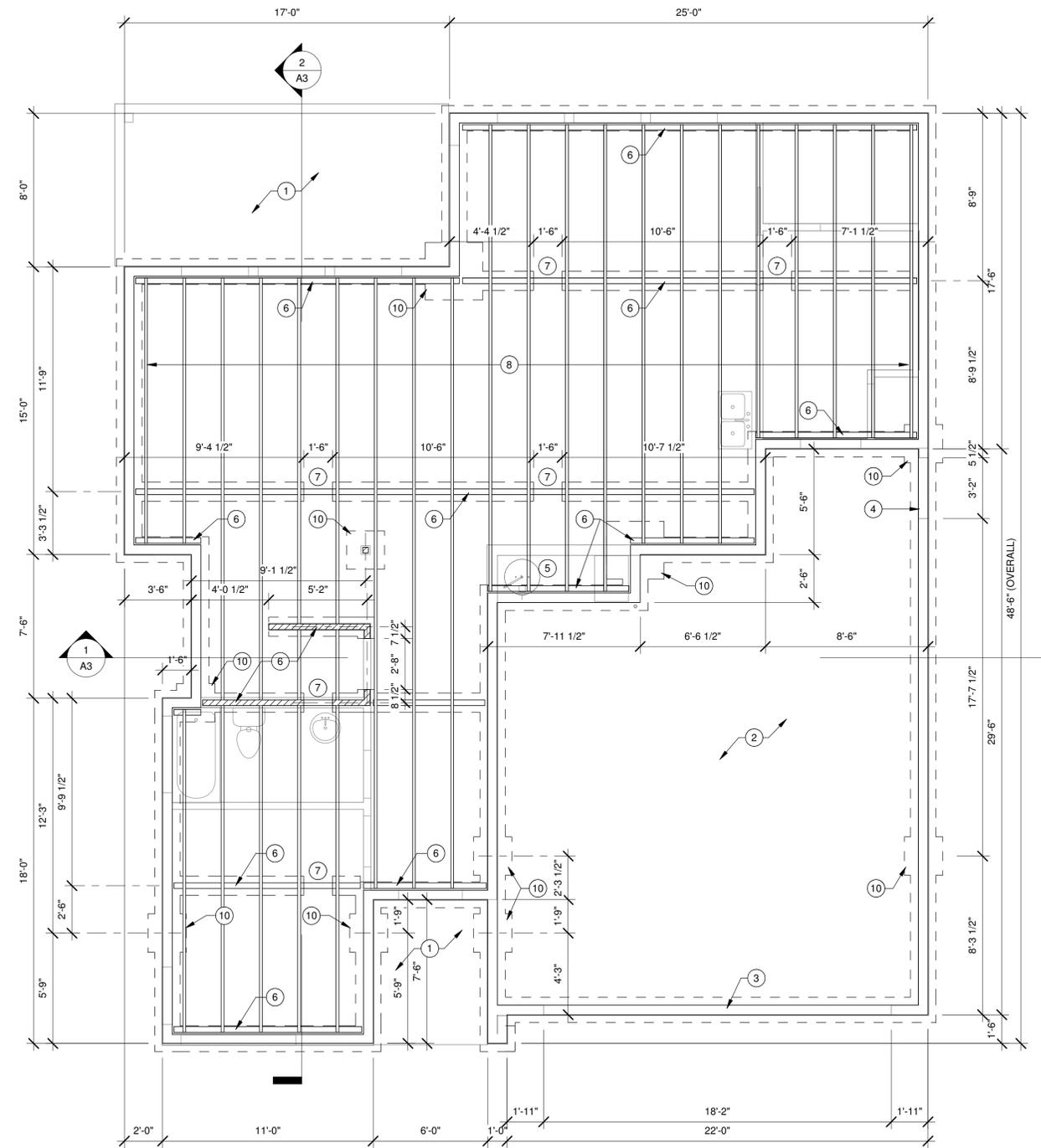
- 6 MIL. VAPOR BARRIER IN CRAWL SPACE.
- MECHANICALLY VENTED CRAWL SPACE. FILL ALL VOIDS. SEAL ALL VAPOR BARRIER SEAMS WITH MASTIC.
- PROVIDE P.T. SILL PLATE W/ 1/2" x 10" ANCHOR BOLTS @ 72" O.C.
- EXCAVATE A MIN. OF 24" BELOW BOTTOM OF FLOOR JOIST, BEAMS AND GIRDERS

## FOUNDATION SCHEDULE

-  6" CONT. CONC. WALL ON CONT. CONC. FOOTING, SEE DETAILS
-  2x4 PONYWALL ON CONT. CONC. FOOTING. SEE DETAILS
-  2x4 BEARING PONYWALL ON CONT. THICKENED FOOTING, SEE DETAILS

## KEYNOTES

- 4" CONC. SLAB w/4" COMPACTED GRAVEL BASE
- 4" CONC. SLAB w/4" COMPACTED GRAVEL BASE SLOPED 2" MIN TO DRIVE
- BLOCK-OUT FOR OVERHEAD DOOR
- BLOCK-OUT FOR MAN DOOR
- BLOCK-OUT FOR HVAC AS NEEDED
- PONYWALL
- ACCESS THROUGH PONYWALL, RUN CONT. TOP PLATE
- 7/8" SHEATHING o/ 9 1/2" FLOOR JOISTS @ 24" O.C.
- CONC. PIER FOOTING, SEE DETAIL
- SQUARE FOOTING w/ #4 REBAR EACH WAY



## FOUNDATION PLAN

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

LOT 53 CRANE SHORES SUBDIVISION 14 HERONS NEST COURT VALLEY COUNTY DONNELLY IDAHO	<h1>FOUNDATION PLAN</h1>
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## JOIST/TRUSS MANUFACTURER NOTE:

FLOOR JOISTS & BEAMS:  
EVERY EFFORT HAS BEEN MADE TO TRANSFER LOADS TO THE FOUNDATION.  
JOIST/BEAM MANUFACTURER SHALL CONFIRM LOAD TRANSFER, JOIST/BEAM  
SIZE, JOIST/BEAM LENGTH, AND HANGER REQUIREMENTS PRIOR TO DELIVERY.

ROOF TRUSSES  
EVERY EFFORT HAS BEEN MADE TO PROVIDE A COST EFFICIENT, BUILDABLE  
DESIGN. TRUSS MANUFACTURER SHALL CONFIRM GIRDER LOCATIONS AND  
TRUSS LAYOUT PRIOR TO FABRICATION AND DELIVERY.

IT IS THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE  
BUILDING CODE COMPLIANT JOISTS, BEAMS, AND TRUSSES.

## ROOF FRAMING GENERAL NOTES

- COORDINATE ALL LOAD POINTS WITH TRUSS MFR. SHOP DRAWINGS.
- ROOF TRUSS SYSTEM SHALL BE INSTALLED AS PER TRUSS MANUFACTURERS  
REQUIREMENTS AND RECOMMENDATIONS.
- TRUSS MANUFACTURER SHALL VERIFY ALL DIMENSIONS FROM THE  
FOUNDATION AND FLOOR PLANS PRIOR TO FABRICATION.
- ALL FRAMING ANCHORS MUST BE APPROVED BY TRUSS MFR.
- ASSUME A MIN. OF (2) 2x BEAM SUPPORTS.
- TRUSS MFR. TO VERIFY ALL PLATE HEIGHTS PRIOR TO TRUSS FABRICATION.
- ALL WINDOW & DOOR HEADERS NOT SHOWN SHALL BE (#2) 4x8 MIN. (U.N.O.)
- ROOF SHEATHING SHALL BE 7/16" SHEATHING W/ PLY-CLIPS
- CONTRACTOR TO VERIFY ALL SPECIFICATIONS, DETAILS, DIMENSIONS, AND  
STRUCTURAL CONDITIONS PRIOR TO CONSTRUCTION.

## KEYNOTES

- INTERIOR BEARING WALL
- 22"x30" ATTIC ACCESS

## ROOF VENT CALCULATIONS

ATTIC VENTILATION AS FOLLOWS:

DEN ROOF: 112 S.F. x 1/300 = 0.37 S.F./ 54 Sq. In. OF FREE AREA.

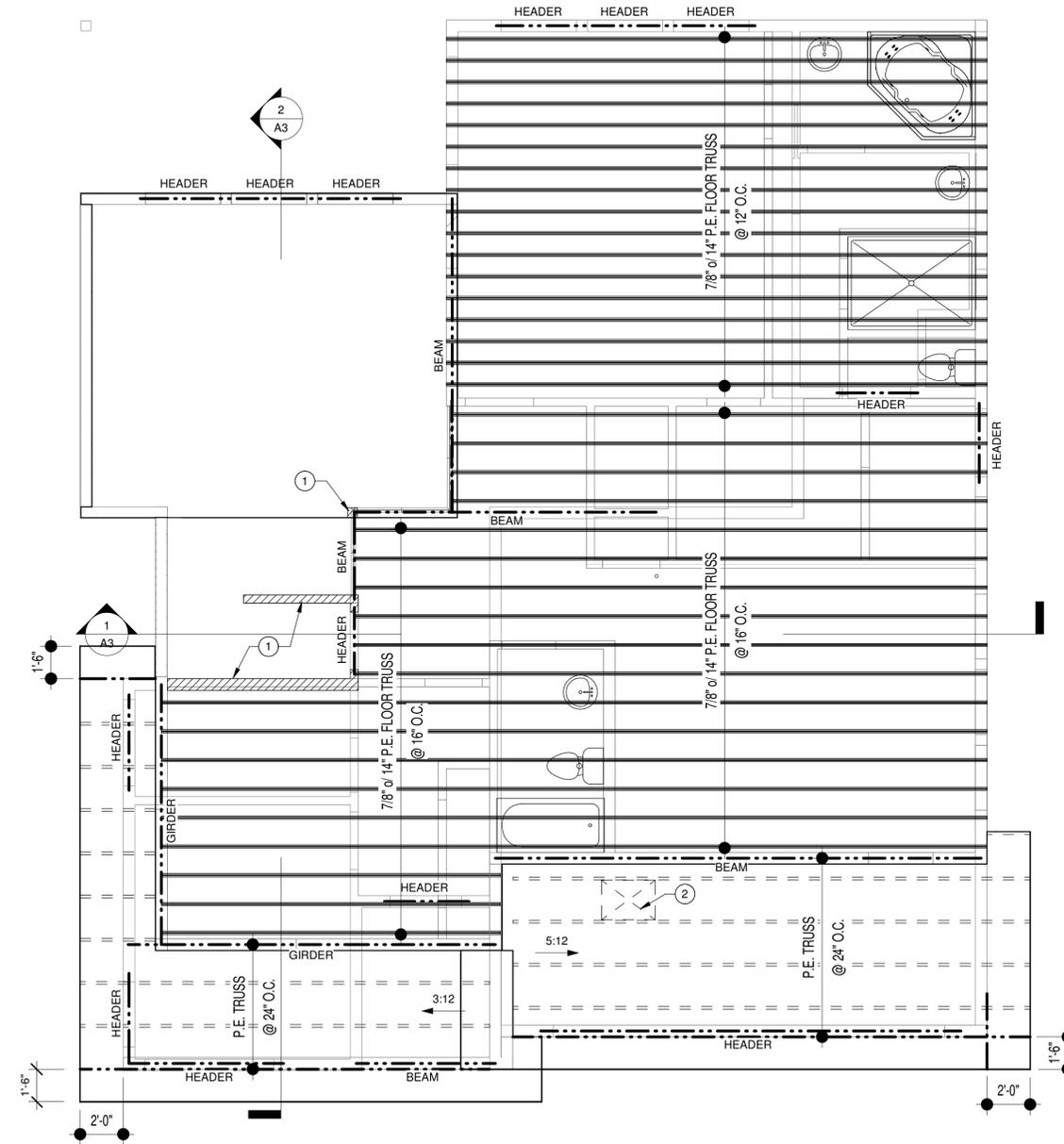
HIGH VENTILATION: 27 Sq. In. OF FREE AREA USING 1 ROOF  
VENTS @ 60 Sq. In. FREE AREA EACH VENT. HIGH VENTILATION  
SHALL BE PROVIDED NO MORE THAN 3-FEET BELOW RIDGE OR  
HIGHEST POINT OF VENTILATION.

SOFFIT VENTILATION: 27 Sq. In. OF FREE AREA USING 14  
SCREENED SOFFIT VENTS @ 65 Sq. In. FREE AREA EACH.

GARAGE ROOF: 628 S.F. x 1/300 = 12.58 S.F./ 1,812 Sq. In. OF FREE  
AREA.

HIGH VENTILATION: 906 Sq. In. OF FREE AREA USING 15 ROOF  
VENTS @ 60 Sq. In. FREE AREA EACH VENT. HIGH VENTILATION  
SHALL BE PROVIDED NO MORE THAN 3-FEET BELOW RIDGE OR  
HIGHEST POINT OF VENTILATION.

SOFFIT VENTILATION: 906 Sq. In. OF FREE AREA USING 14  
SCREENED SOFFIT VENTS @ 65 Sq. In. FREE AREA EACH.



## ROOF PLAN

1/4" = 1'-0"



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CONTRACTOR

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14 HERONS NEST COURT  
VALLEY COUNTY DONNELLY IDAHO

# ROOF/FLOOR FRAMING PLAN

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# ROOF FRAMING GENERAL NOTES

- COORDINATE ALL LOAD POINTS WITH TRUSS MFR. SHOP DRAWINGS.
- ROOF TRUSS SYSTEM SHALL BE INSTALLED AS PER TRUSS MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
- TRUSS MANUFACTURER SHALL VERIFY ALL DIMENSIONS FROM THE FOUNDATION AND FLOOR PLANS PRIOR TO FABRICATION.
- ALL FRAMING ANCHORS MUST BE APPROVED BY TRUSS MFR.
- ASSUME A MIN. OF (2) 2x BEAM SUPPORTS.
- TRUSS MFR. TO VERIFY ALL PLATE HEIGHTS PRIOR TO TRUSS FABRICATION.
- ALL WINDOW & DOOR HEADERS NOT SHOWN SHALL BE (#2) 4x8 MIN. (U.N.O.)
- ROOF SHEATHING SHALL BE 7/16" SHEATHING W/ PLY-CLIPS
- CONTRACTOR TO VERIFY ALL SPECIFICATIONS, DETAILS, DIMENSIONS, AND STRUCTURAL CONDITIONS PRIOR TO CONSTRUCTION.

## KEYNOTES

- INTERIOR BEARING WALL
- 22"x30" ATTIC ACCESS

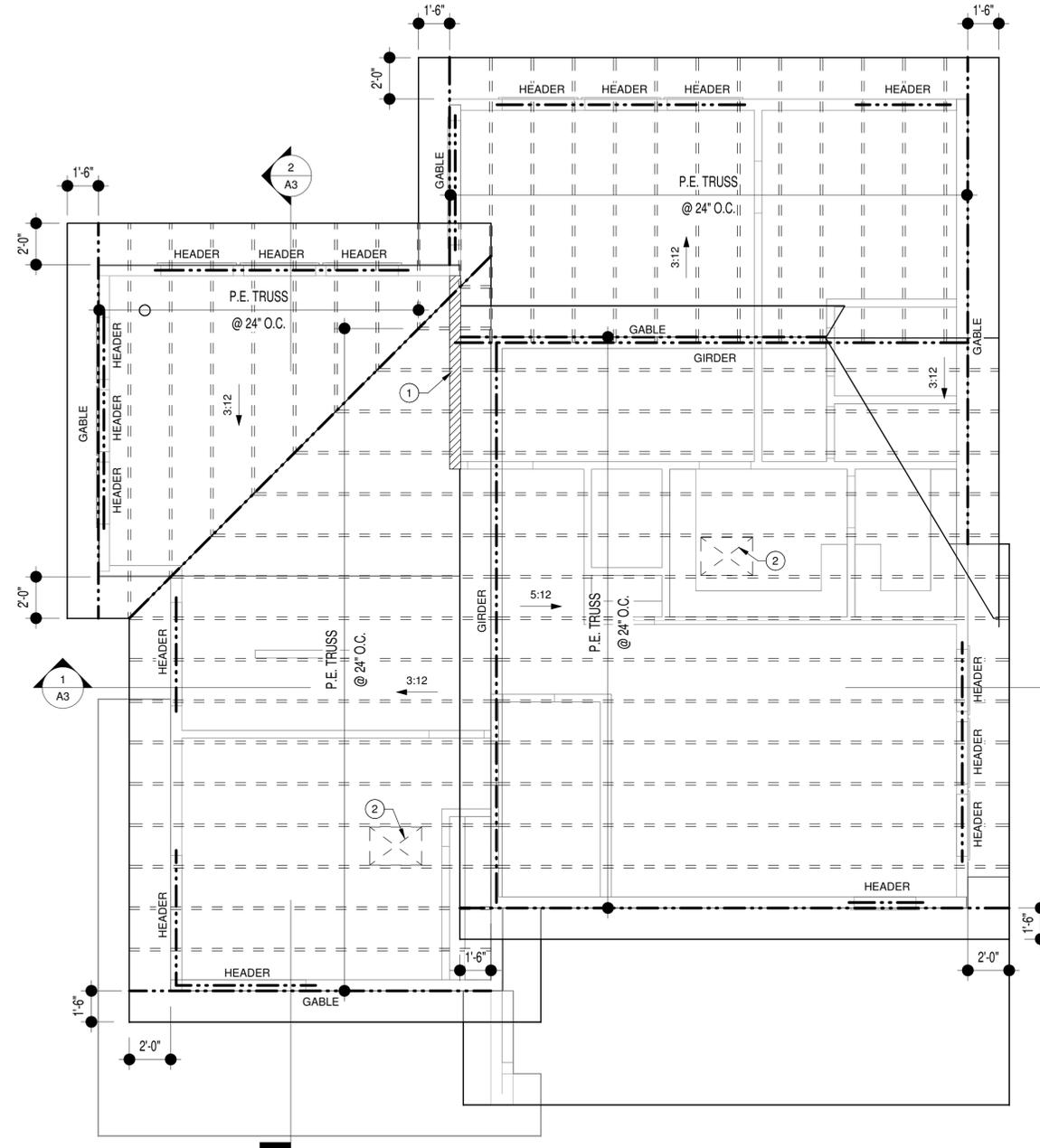
## ROOF VENT CALCULATIONS

ATTIC VENTILATION AS FOLLOWS:

UPPER ROOF: 1,189 S.F. x 1/300 = 3.96 S.F./ 571 Sq. In. OF FREE AREA.

HIGH VENTILATION: 285 Sq. In. OF FREE AREA USING 5 ROOF VENTS @ 60 Sq. In. FREE AREA EACH VENT. HIGH VENTILATION SHALL BE PROVIDED NO MORE THAN 3-FEET BELOW RIDGE OR HIGHEST POINT OF VENTILATION.

SOFFIT VENTILATION: 286 Sq. In. OF FREE AREA USING 4 SCREENED SOFFIT VENTS @ 65 Sq. In. FREE AREA EACH.



## UPPER ROOF PLAN

1/4" = 1'-0"

## JOIST/TRUSS MANUFACTURER NOTE:

FLOOR JOISTS & BEAMS:  
EVERY EFFORT HAS BEEN MADE TO TRANSFER LOADS TO THE FOUNDATION. JOIST/BEAM MANUFACTURER SHALL CONFIRM LOAD TRANSFER, JOIST/BEAM SIZE, JOIST/BEAM LENGTH, AND HANGER REQUIREMENTS PRIOR TO DELIVERY.

ROOF TRUSSES  
EVERY EFFORT HAS BEEN MADE TO PROVIDE A COST EFFICIENT, BUILDABLE DESIGN. TRUSS MANUFACTURER SHALL CONFIRM GIRDER LOCATIONS AND TRUSS LAYOUT PRIOR TO FABRICATION AND DELIVERY.

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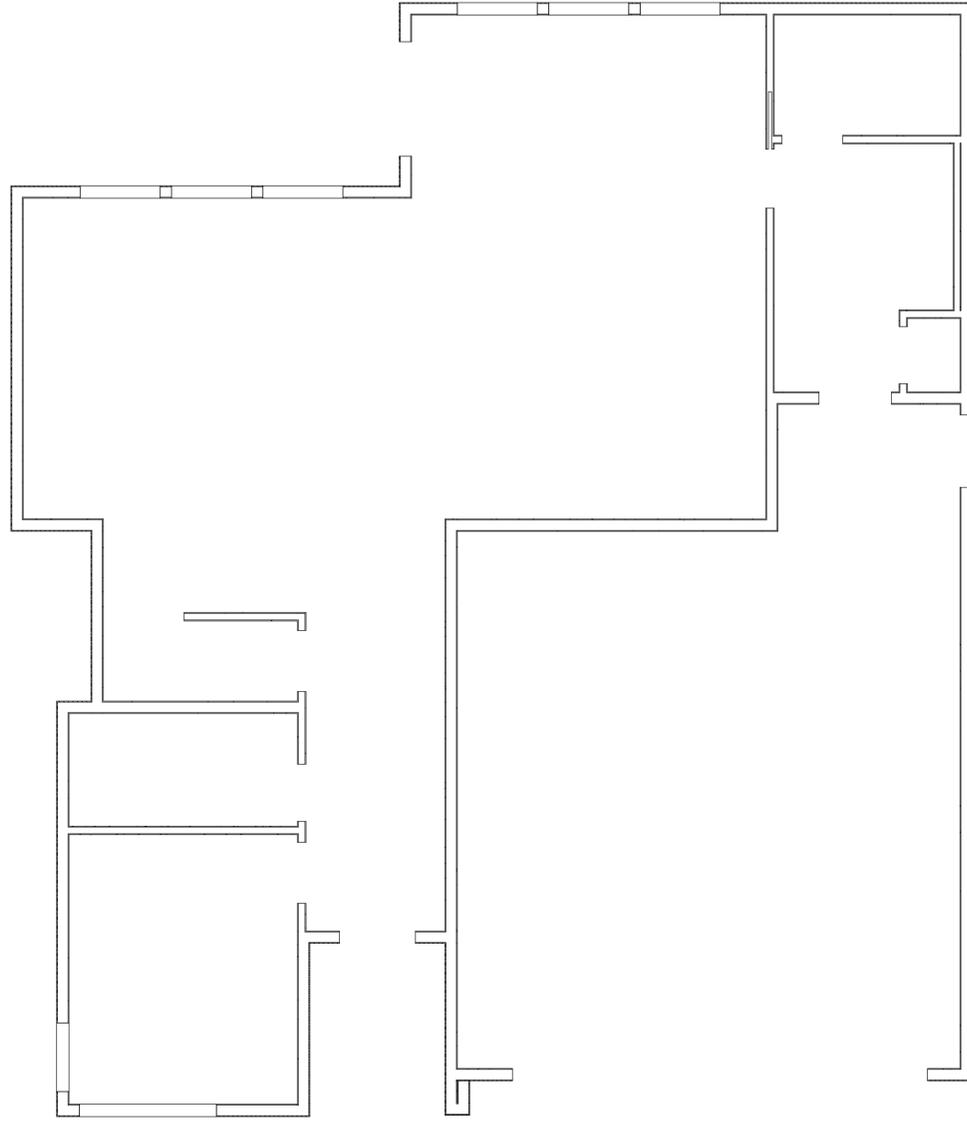
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LOT 53 CRANE SHORES SUBDIVISION  
14 HERONS NEST COURT  
VALLEY COUNTY DONNELLY IDAHO

# UPPER ROOF PLAN

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**MAIN SHEAR WALL PLAN**

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

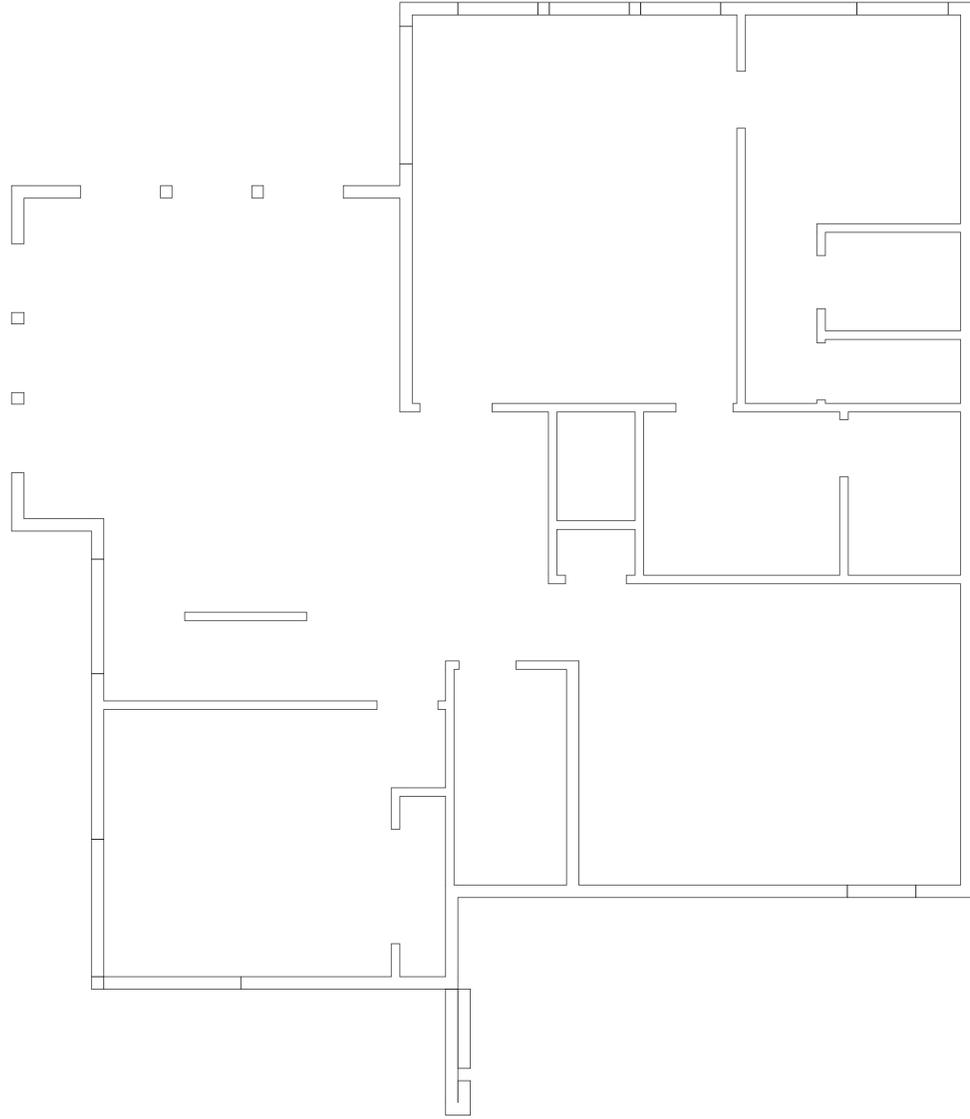
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**MAIN SHEAR WALL PLAN**

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**UPPER SHEAR WALL PLAN**

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

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**UPPER SHEAR WALL PLAN**

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SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

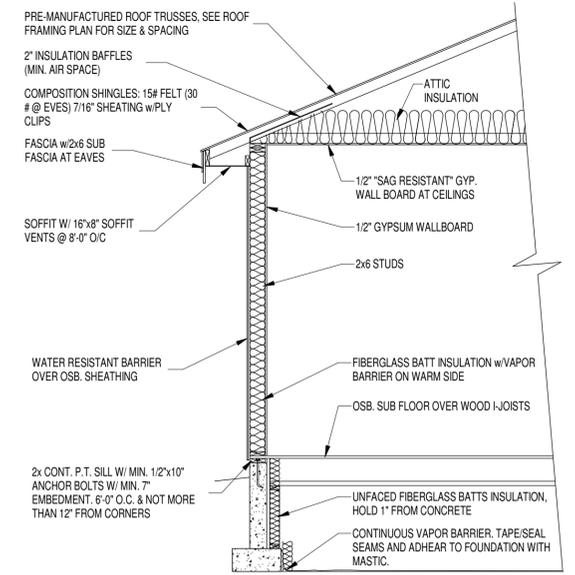
LOT 53 CRANE SHORES SUBDIVISION  
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 VALLEY COUNTY DONNELLY IDAHO

**DETAILS**

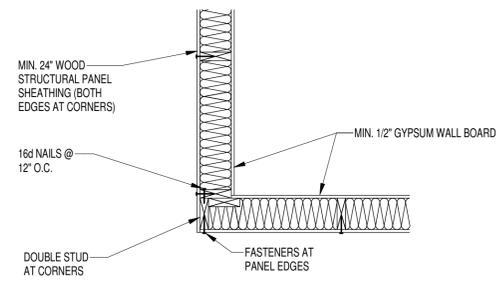
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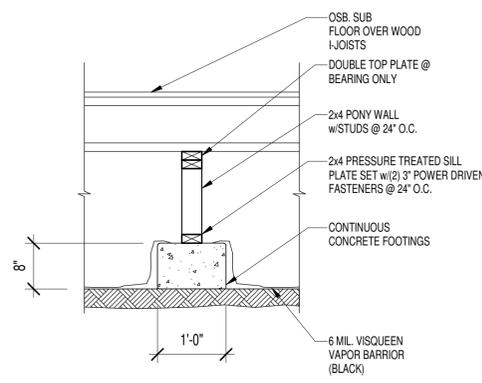
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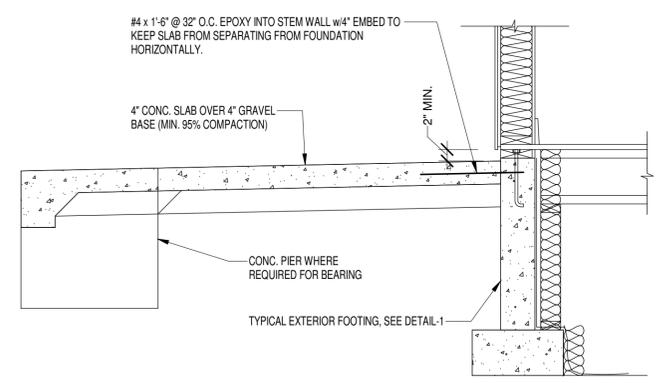
**A WALL SECTION**  
 3/8" = 1'-0"



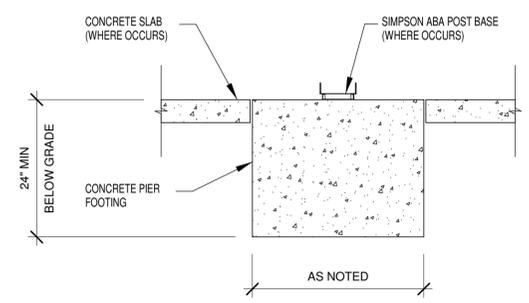
**6 OUTSIDE CORNER**  
 3/4" = 1'-0"



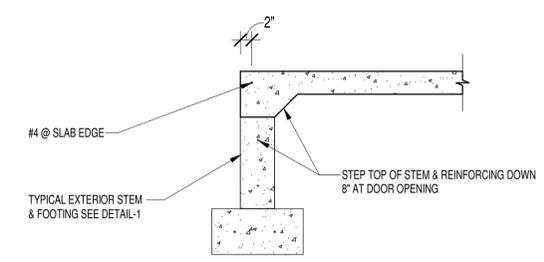
**4 INTERIOR FOOTING**  
 3/4" = 1'-0"



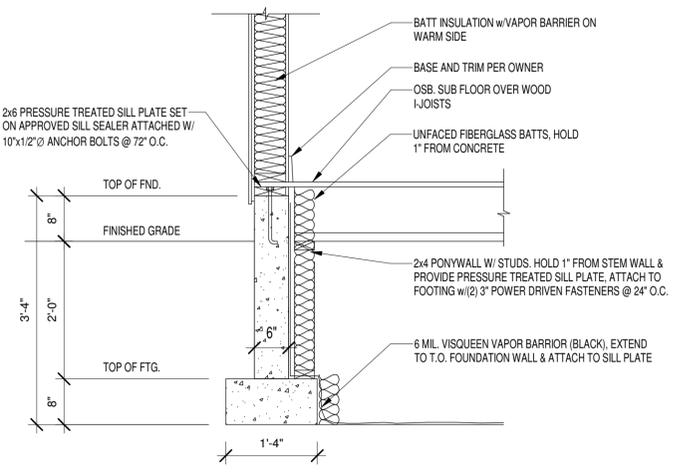
**2 PORCH/PATIO SECTION**  
 3/4" = 1'-0"



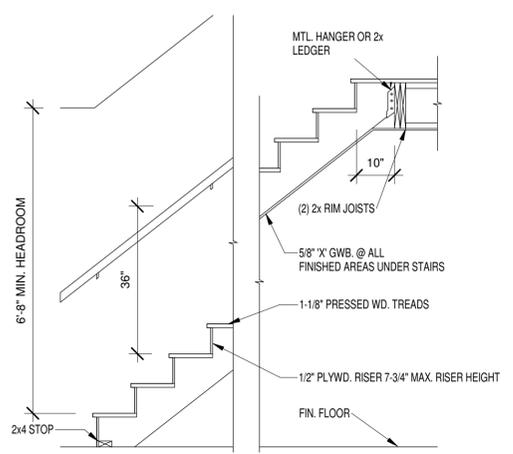
**5 PIER FOOTING**  
 3/4" = 1'-0"



**3 GARAGE SLAB**  
 3/4" = 1'-0"



**1 EXTERIOR FOOTING**  
 3/4" = 1'-0"



**7 STAIRS**  
 1/2" = 1'-0"

## WALL TYPES

### EXTERIOR WALL - TYPICAL

1/2" GYP. BD. (MIN.)  
2x6 STUDS @ 16" O.C.  
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE  
BATT. INSULATION W/ VAPOR RETARDER  
SEE BRACED WALL SCHEDULE (WHERE REQ'D)

### INTERIOR NON-BEARING WALL

1/2" GYP. BD. (MIN.)  
2x4 STUD @ 16" O.C.  
1/2" GYP. BD. (MIN.)

### INTERIOR BEARING WALL

1/2" GYP. BD. (MIN.)  
2x4 STUD @ 16" O.C.  
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE  
1/2" GYP. BD. (MIN.)

## WINDOW HEIGHTS

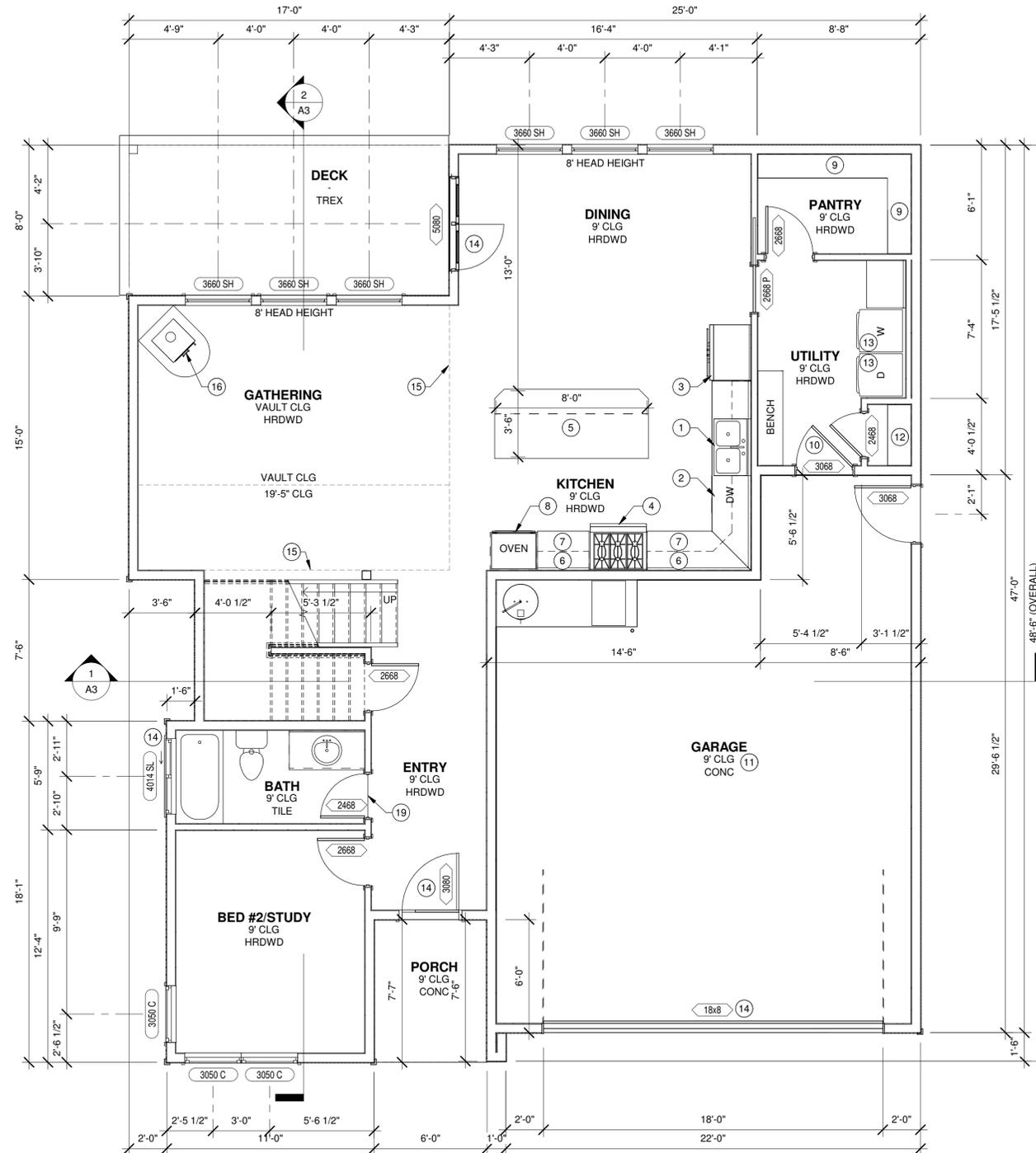
1. WINDOW HEAD HEIGHT SHALL BE 7'-4" U.N.O.

## GENERAL NOTES

1. INSTALL GAS FIRED EQUIPMENT SUCH THAT IGNITION SOURCE IS 18" A.F.F. MIN.

## KEYNOTES

1. SINK w/ DISPOSAL
2. DISHWASHER
3. REFRIGERATOR N.I.C. (PLUMB FOR ICE)
4. RANGE w/ HOOD
5. KITCHEN ISLAND
6. UPPER CABINETS
7. BASE CABINETS
8. WALL OVEN/MICROWAVE (VERIFY w/ BUILDER)
9. BUILT-IN SHELVES (VERIFY w/ BUILDER)
10. SELF CLOSING 20 MIN. FIRE RATED DOOR
11. 5/8" TYPE "X" GYPSUM WALL BOARD REQUIRED ON ALL COMMON WALLS CEILINGS BETWEEN GARAGE AND DWELLING
12. CLOSET SHELF SYSTEM (VERIFY w/ BUILDER)
13. WASHER AND DRYER (N.I.C.)
14. TEMPERED GLASS
15. LINE OF CEILING HEIGHT CHANGE
16. STAND ALONE WOOD STOVE (VERIFY w/ BUILDER)
17. 6x6 POST
18. 14" SQ COLUMN
19. LINE OF FLOORING TRANSITION



## MAIN FLOOR PLAN

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

LOT 53 CRANE SHORES SUBDIVISION 14 HERONS NEST COURT VALLEY COUNTY DONNELLY IDAHO	<b>MAIN FLOOR PLAN</b>
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## WALL TYPES

### EXTERIOR WALL - TYPICAL

1/2" GYP. BD. (MIN.)  
2x6 STUDS @ 16" O.C.  
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE  
BATT. INSULATION W/ VAPOR RETARDER  
SEE BRACED WALL SCHEDULE (WHERE REQ'D)

### INTERIOR NON-BEARING WALL

1/2" GYP. BD. (MIN.)  
2x4 STUD @ 16" O.C.  
1/2" GYP. BD. (MIN.)

### INTERIOR BEARING WALL

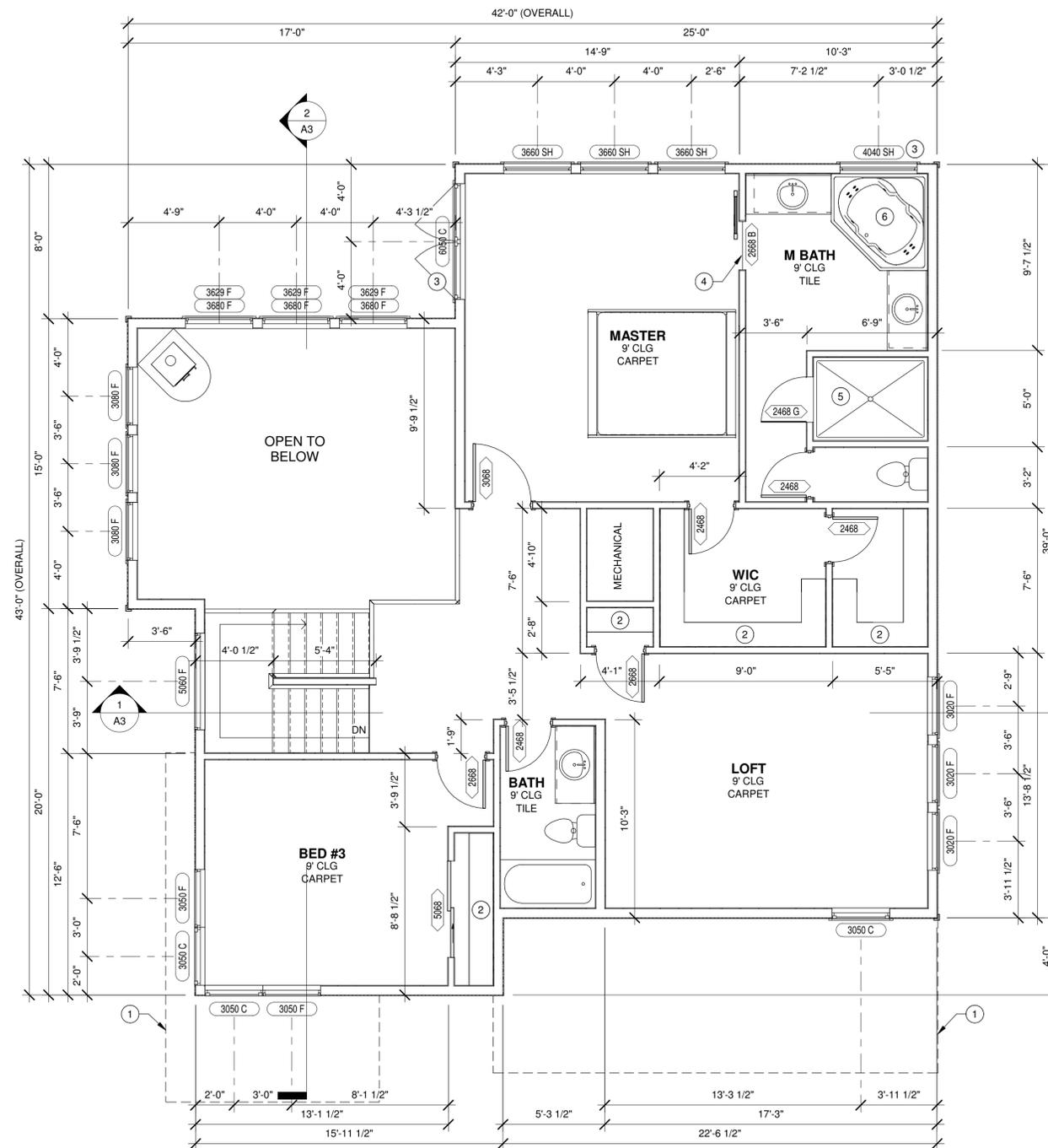
1/2" GYP. BD. (MIN.)  
2x4 STUD @ 16" O.C.  
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE  
1/2" GYP. BD. (MIN.)

## WINDOW HEIGHTS

1. WINDOW HEAD HEIGHT SHALL BE 7'-4" U.N.O.

## KEYNOTES

1. LINE OF FLOOR BELOW
2. CLOSET SHELF SYSTEM (VERIFY W/ BUILDER)
3. TEMPERED GLASS
4. LINE OF FLOORING TRANSITION
5. TILE WALK-IN SHOWER
6. CORNER TUB



## UPPER FLOOR PLAN

1/4" = 1'-0"



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MAIN	1,169
UPPER	1,189
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GARAGE	591

CONTRACTOR

LOT 53 CRANE SHORES SUBDIVISION  
14 HERONS NEST COURT  
VALLEY COUNTY DONNELLY IDAHO

# UPPER FLOOR PLAN

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SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

LOT 53 CRANE SHORES SUBDIVISION  
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# EXTERIOR ELEVATIONS

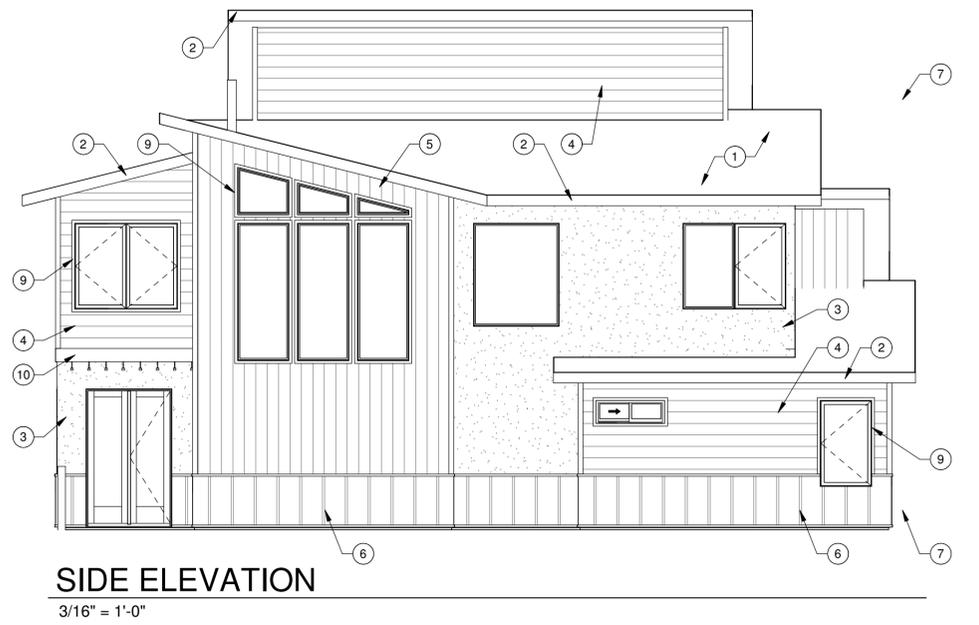
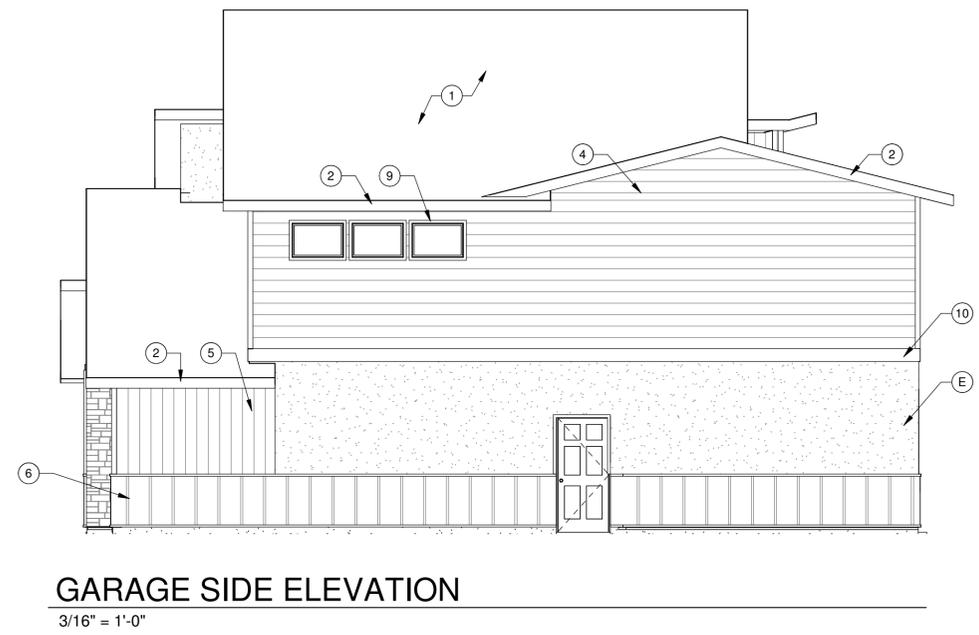
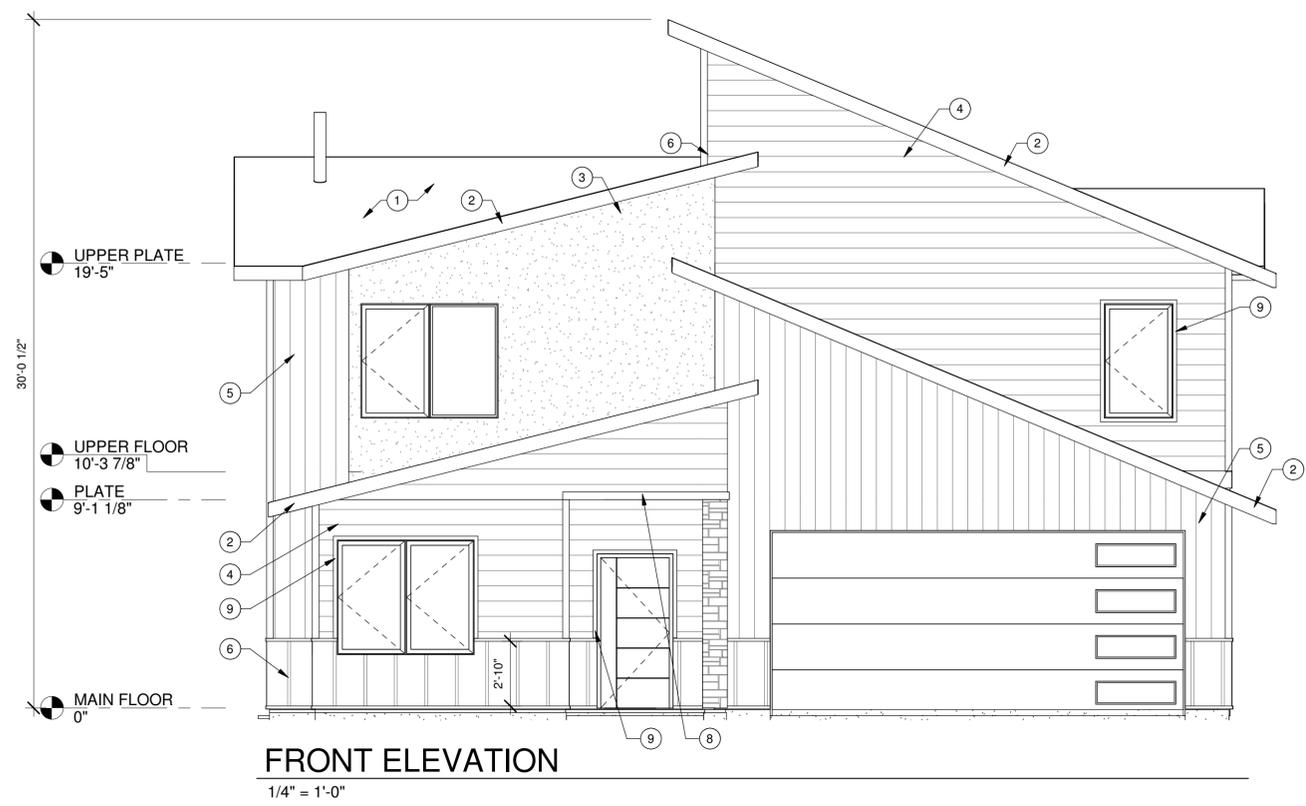
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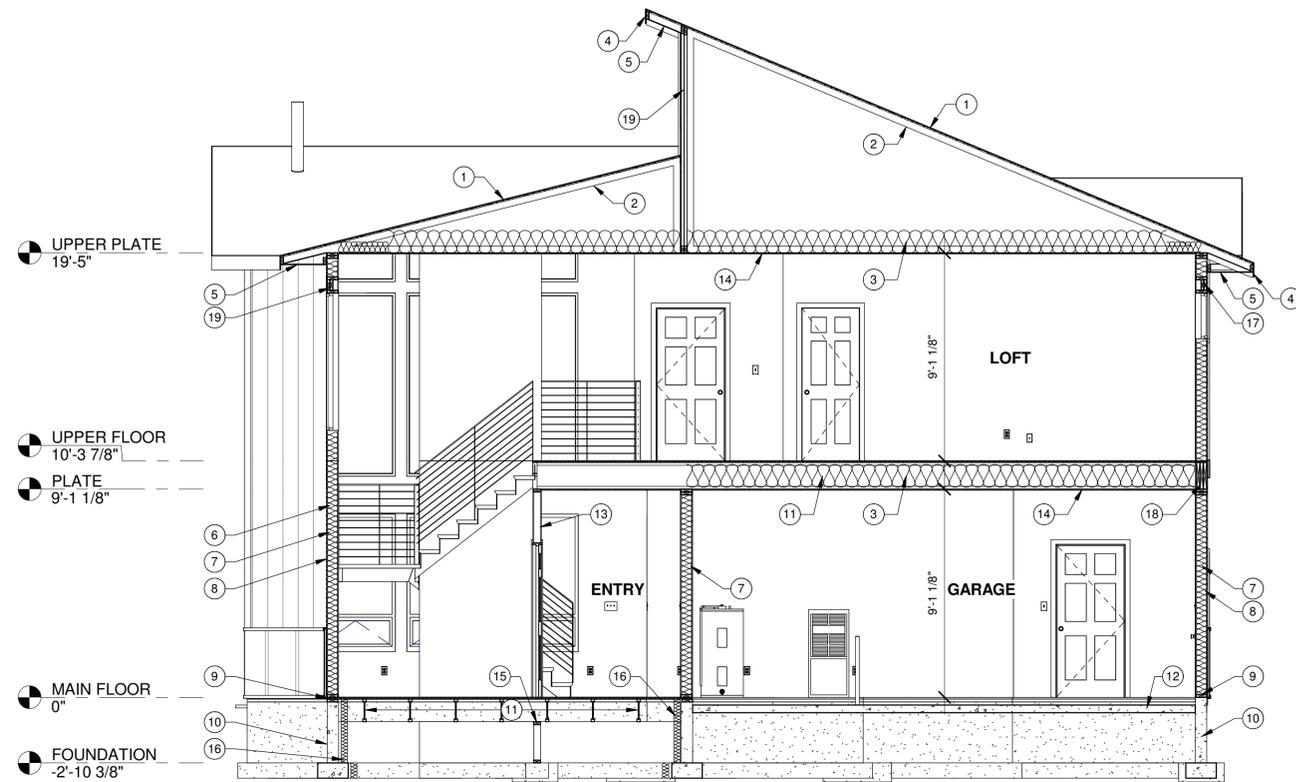
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- ### KEYNOTES
- 30-YEAR COMPOSITION SHINGLE
  - 8" FASCIA
  - STUCCO
  - LAP SIDING w/ CORNER TRIM
  - VERTICAL LAP SIDING w/ CORNER TRIM
  - METAL SIDING w/ METAL CAP
  - STONE VENEER
  - 4" TRIM
  - 2" DOOR & WINDOW TRIM
  - 1x10 BELLY BOARD TRIM

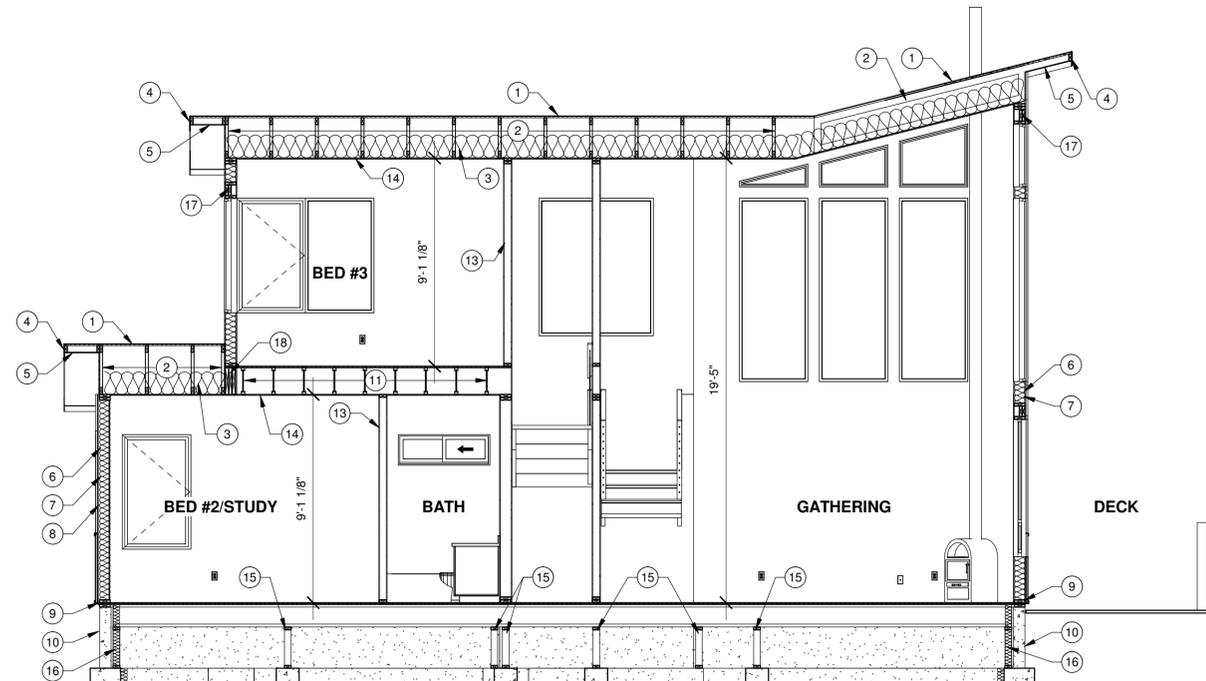
- ### ROOF DRAINAGE
- PROVIDE GUTTERS w/ DOWNSPOUTS TO PROVIDE DRAINAGE TO GRADE AND AWAY FROM FOUNDATION.



KEYNOTES	#
1. 30 YEAR COMPOSITE SHINGLES @ ROOF SHEATHING	
2. P.E. TRUSSES , SEE ROOF PLAN	
3. ATTIC INSULATION	
4. FASCIA MATERIAL	
5. SOFFIT MATERIAL	
6. BATT INSULATION @ EXTERIOR WALLS	
7. 2x6 STUD WALL	
8. WALL SHEATHING	
9. SILL PLATE	
10. FOUNDATION, SEE FOUNDATION PLAN	
11. FLOOR JOISTS, SEE FOUNDATION PLAN	
12. 4" CONCRETE SLAB	
13. 2x4 STUD WALL	
14. GYPSUM BOARD	
15. PONYWALL ON CONCRETE FOOTING, SEE DETAILS	
16. CRAWLSPACE INSULATION	
17. HEADER, SEE ROOF PLAN	
18. BEAM, SEE ROOF PLAN	
19. GIRDER, SEE ROOF PLAN	



**1 BUILDING SECTION**  
1/4" = 1'-0"



**2 BUILDING SECTION**  
1/4" = 1'-0"



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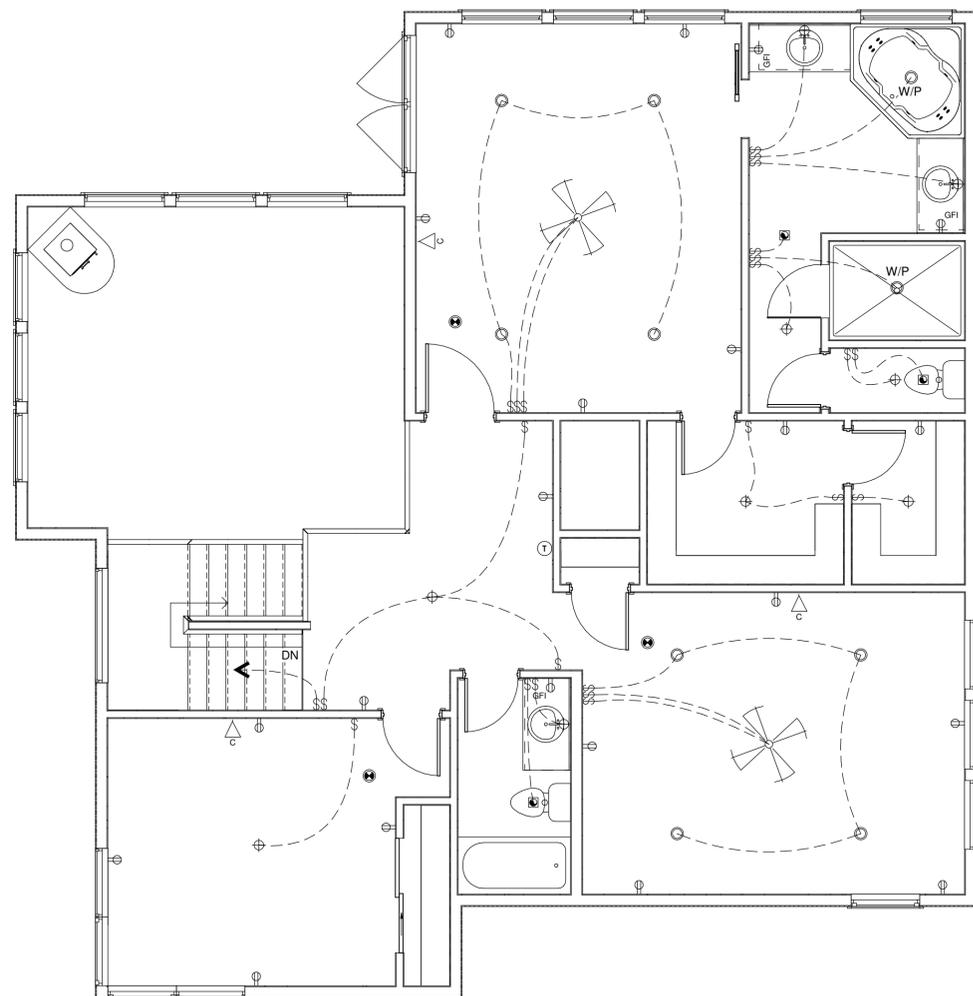
**BUILDING SECTION**

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Sheet  
**A3**

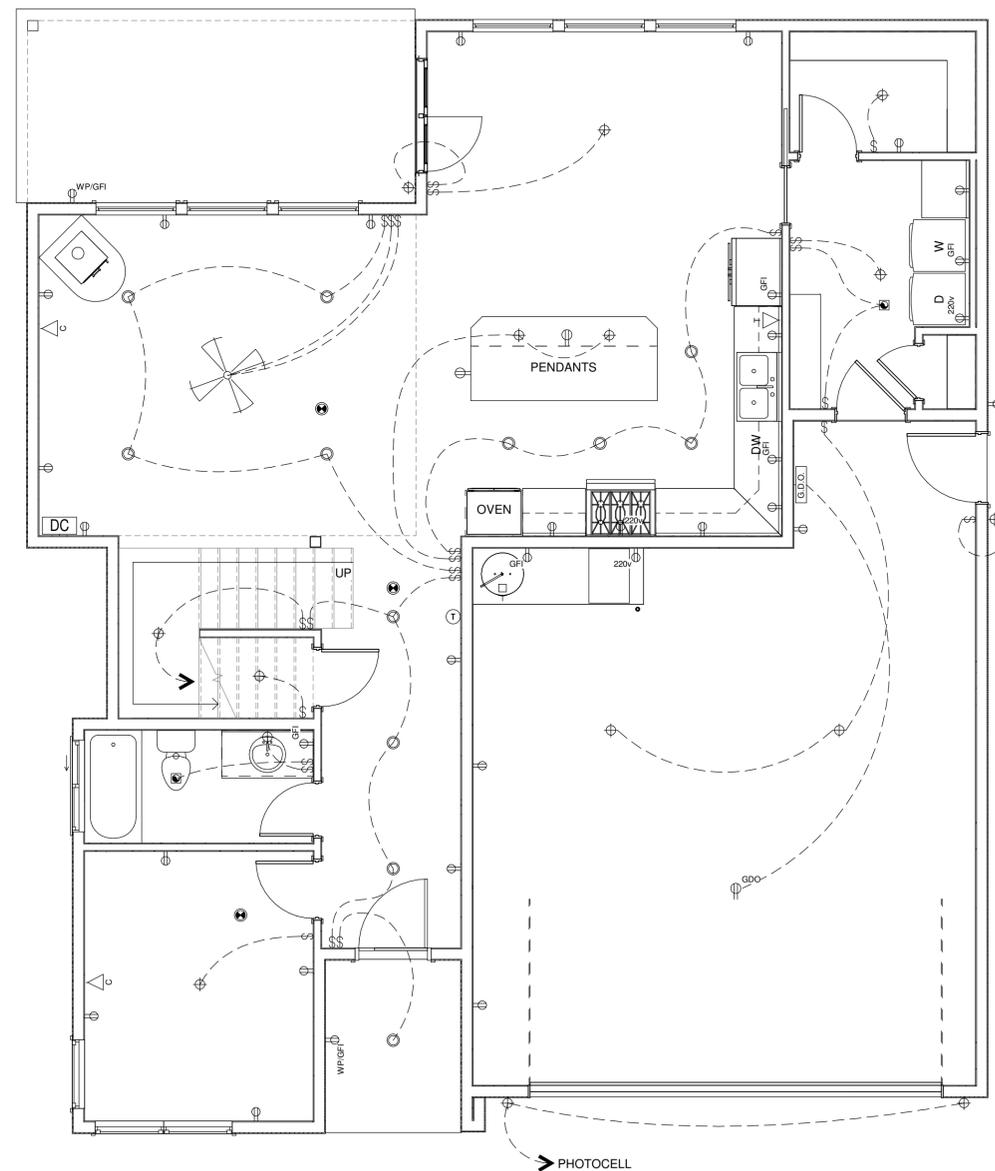
LEGEND		
⚡	SWITCH	EXHAUST FAN (50 CFM)
⊕	LIGHT FIXTURE	110V. SMOKE/CARBON MONOXIDE DETECTOR
○	RECESSED CAN LIGHT	(C) CABLE, (T) TELEPHONE
⦿	RECEPTACLE	HEAT/COOL THERMOSTAT 60° A.F.F.
		DC DOORBELL CHIMES
		CEILING FAN
		G.D.O. GARAGE DOOR OPENER

- NOTES:**
- THE ELECTRICAL & HVAC DEVICES AND LOCATIONS ARE SCHEMATIC AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL DEVICES AND LOCATIONS SHALL BE DETERMINED BY THE APPLICABLE CODES AND THE BUILDING OFFICIAL.
  - R314-SMOKE ALARMS SHALL BE INTERCONNECTED AND PROVIDED WITH BATTERY BACKUP.
  - R314.3.1-SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3.
    - IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 mm) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
    - IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 mm) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
    - PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1828 mm) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
  - N1104.1 - 75% OF ALL LAMPS PERMANENT LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY.
  - M1507 - MINIMUM EXHAUST RATES: 50 CFM BATHROOM EXHAUST, 100 CFM RANGE EXHAUST.



**UPPER ELECTRICAL PLAN**

1/4" = 1'-0"



**MAIN ELECTRICAL PLAN**

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	1,169
UPPER	1,189
TOTAL	2,358
DECK	136
PORCH	45
GARAGE	591

CONTRACTOR

LOT 53 CRANE SHORES SUBDIVISION  
 14 HERONS NEST COURT  
 VALLEY COUNTY DONNELLY IDAHO

**ELECTRICAL PLANS**

Project	Date
21-234	03.25.2022

Sheet
<b>E1</b>

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