

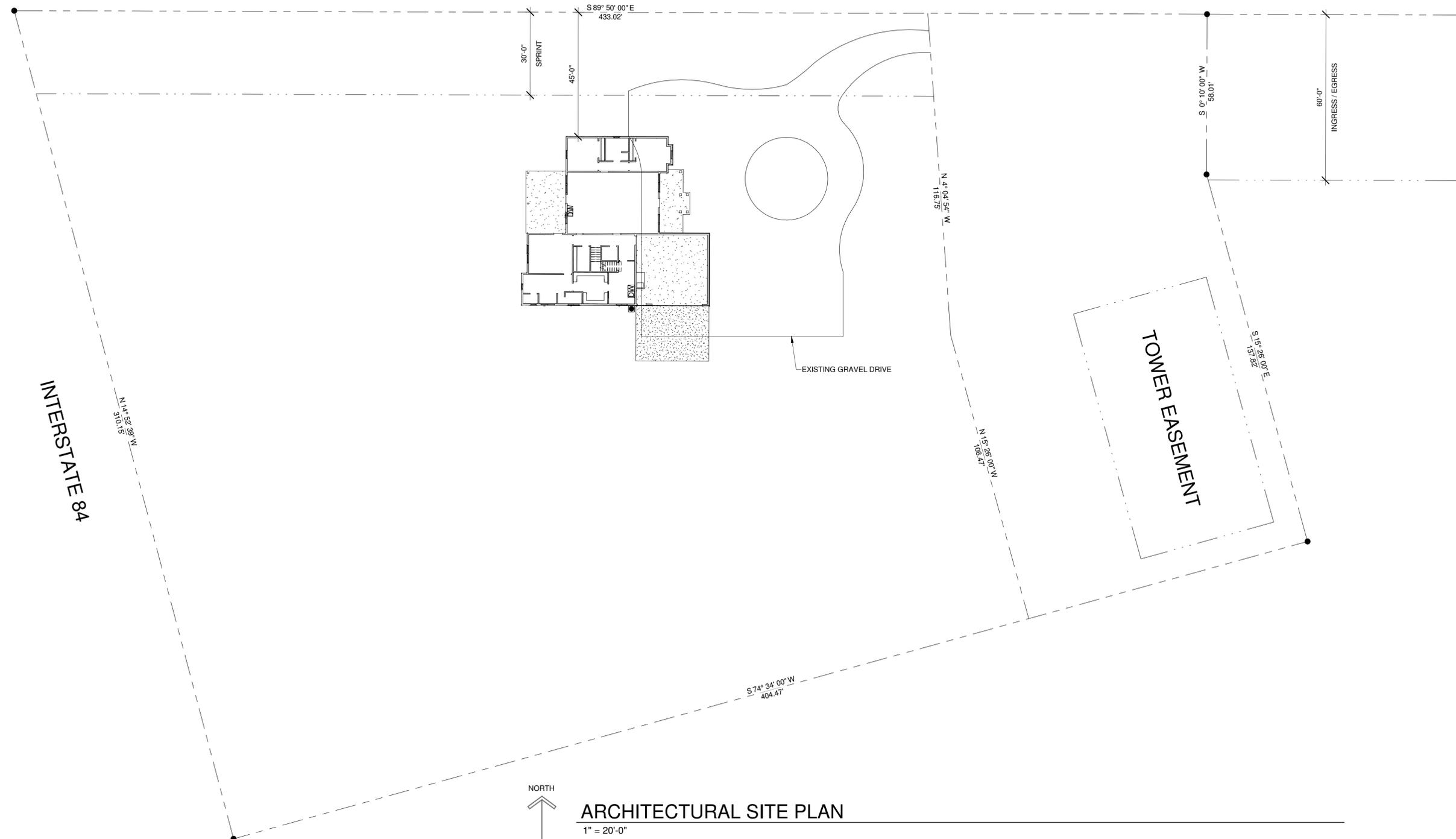
GENERAL NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS - IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.

PRESCRIPTIVE COMPONENT INSULATION & FENESTRATION REQUIREMENTS	
CLIMATE ZONE	5
FENESTRATION U-FACTOR	0.35
CEILING R-VALUE	38
CRAWL SPACE WALL R-VALUE	19
FLOOR R-VALUE	30
WOOD FRAME WALL R-VALUE	21

GENERAL DESIGN GUIDELINES

BUILDING CODE:	INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION
ENERGY CODE:	INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
DESIGN LOADS:	
GROUND SNOW LOAD:	20 PSF
ROOF SNOW LOAD:	25 PSF
ROOF DEAD LOAD:	17 PSF
FLOOR LIVE LOAD:	40 PSF
FLOOR DEAD LOAD:	10 PSF
SEISMIC DESIGN CATERGORY:	B (DETACHED ONE or TWO-FAMILY DWELLING)
BASIC WIND SPEED:	115 MPH
WIND EXPOSURE CATEGORY:	B
SOIL PROPERTIES:	ASSUMED 1,500 PSF BEARING CAPACITY
FROST DEPTH:	24-INCHES



SPACE	SQ. FT.
MAIN	2,294
UPPER	404
TOTAL	2,698
PATIO	308
PORCH	198
GARAGE	684

CONTRACTOR

OLD HIGHWAY 30
 PARCEL # R38152010
 CANYON COUNTY CALDWELL IDAHO
ARCHITECTURAL SITE PLAN

Project	Date
21-063	03.30.2021

Sheet
AS1

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FOUNDATION NOTES

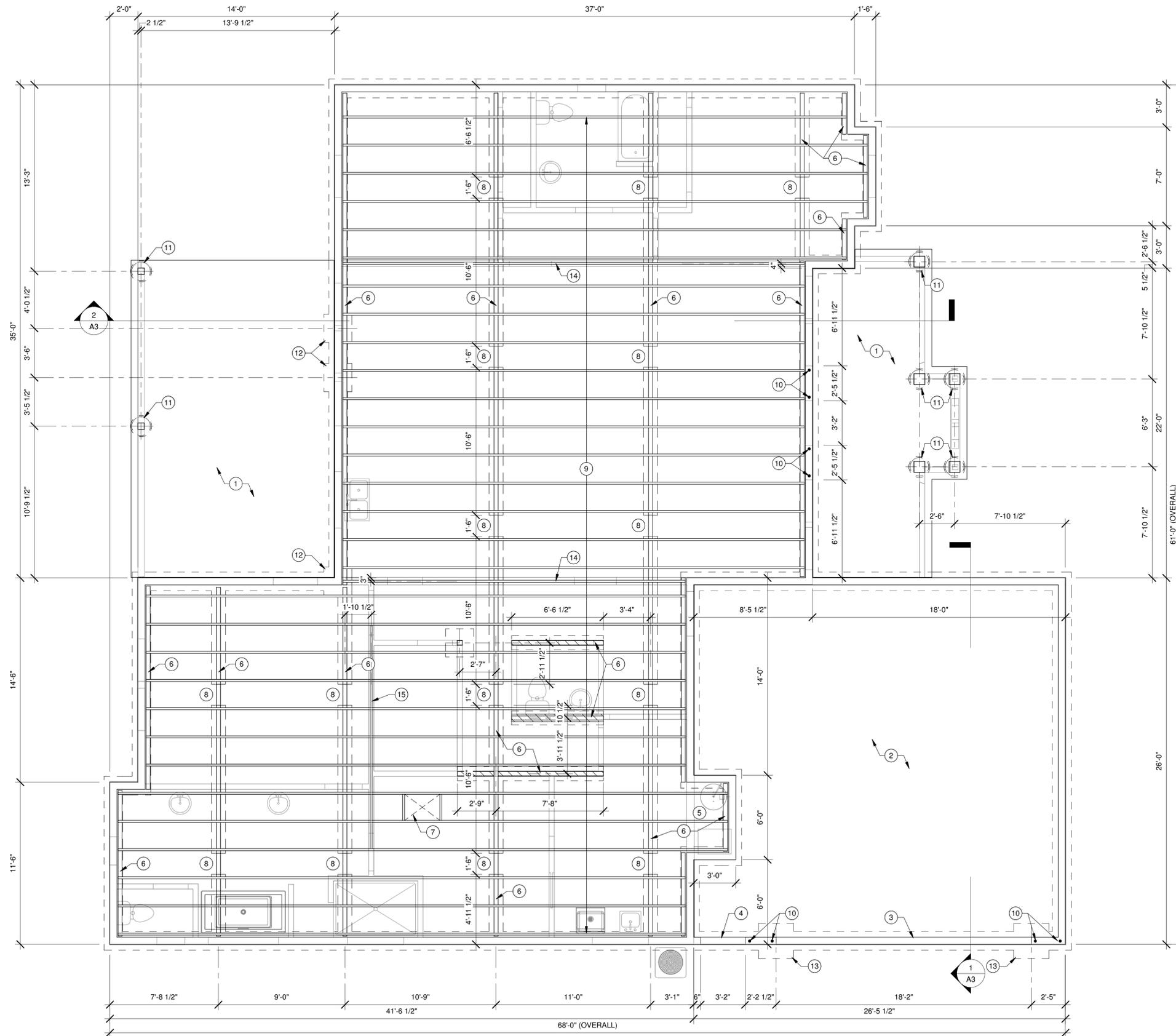
- 6 MIL. VAPOR BARRIER IN CRAWL SPACE.
- MECHANICALLY VENTED CRAWL SPACE. FILL ALL VOIDS. SEAL ALL VAPOR BARRIER SEAMS WITH MASTIC.
- PROVIDE P.T. SILL PLATE W/ 1/2" x 10" ANCHOR BOLTS @ 72" O.C.
- EXCAVATE A MIN. OF 24" BELOW BOTTOM OF FLOOR JOIST, BEAMS AND GIRDERS

FOUNDATION SCHEDULE

-  6" CONT. CONC. WALL ON CONT. CONC. FOOTING, SEE DETAILS
-  2x4 PONYWALL ON CONT. CONC. FOOTING, SEE DETAILS
-  2x4 BEARING PONYWALL ON CONT. THICKENED FOOTING, SEE DETAILS

KEYNOTES

- 4" CONC. SLAB w/4" COMPACTED GRAVEL BASE
- 4" CONC. SLAB w/4" COMPACTED GRAVEL BASE SLOPED 2" MIN TO DRIVE
- BLOCK-OUT FOR OVERHEAD DOOR
- BLOCK-OUT FOR MAN DOOR
- BLOCK-OUT FOR HVAC AS NEEDED
- PONYWALL
- 22"x30" CRAWL SPACE ACCESS
- ACCESS THROUGH PONYWALL, RUN CONT. TOP PLATE
- 7/8" SHEATHING @ 9 1/2" FLOOR JOISTS @ 24" O.C.
- 1/2" Ø ANCHOR BOLTS, SEE PORTAL FRAME 'CS-PF' DETAIL
- 16" Ø CONC. PIER FOOTING, SEE DETAIL
- 24"x24"x10" FOOTING w/ #4 REBAR EACH WAY
- 30"x30"x10" FOOTING w/ #4 REBAR EACH WAY
- PROVIDE EXTRA JOIST WHERE BRACED WALL OCCURS, SEE BRACED WALL PLAN
- PROVIDE BLOCKING WHERE BRACED WALL OCCURS, SEE BRACED WALL PLAN



FOUNDATION PLAN

1/4" = 1'-0"



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CONTRACTOR

OLD HIGHWAY 30
PARCEL #R38152010
 CANOYN COUNTY CALDWELL IDAHO
FOUNDATION PLAN

Project	Date
21-063	03.29.2021

Sheet
S1

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JOIST/TRUSS MANUFACTURER NOTE:

FLOOR JOISTS & BEAMS:
EVERY EFFORT HAS BEEN MADE TO TRANSFER LOADS TO THE FOUNDATION. JOIST/BEAM MANUFACTURER SHALL CONFIRM LOAD TRANSFER, JOIST/BEAM SIZE, JOIST/BEAM LENGTH, AND HANGER REQUIREMENTS PRIOR TO DELIVERY.

ROOF TRUSSES
EVERY EFFORT HAS BEEN MADE TO PROVIDE A COST EFFICIENT, BUILDABLE DESIGN. TRUSS MANUFACTURER SHALL CONFIRM GIRDER LOCATIONS AND TRUSS LAYOUT PRIOR TO FABRICATION AND DELIVERY.

IT IS THE RESPONSIBILITY OF THE MANUFACTURER TO PROVIDE BUILDING CODE COMPLIANT JOISTS, BEAMS, AND TRUSSES.

ROOF FRAMING GENERAL NOTES

- COORDINATE ALL LOAD POINTS WITH TRUSS MFR. SHOP DRAWINGS.
- ROOF TRUSS SYSTEM SHALL BE INSTALLED AS PER TRUSS MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
- TRUSS MANUFACTURER SHALL VERIFY ALL DIMENSIONS FROM THE FOUNDATION AND FLOOR PLANS PRIOR TO FABRICATION.
- ALL FRAMING ANCHORS MUST BE APPROVED BY TRUSS MFR.
- ASSUME A MIN. OF (2) 2x BEAM SUPPORTS.
- TRUSS MFR. TO VERIFY ALL PLATE HEIGHTS PRIOR TO TRUSS FABRICATION.
- ALL WINDOW & DOOR HEADERS NOT SHOWN SHALL BE (#2) 4x8 MIN. (U.N.O.)
- ROOF SHEATHING SHALL BE 7/16" SHEATHING W/ PLY-CLIPS
- CONTRACTOR TO VERIFY ALL SPECIFICATIONS, DETAILS, DIMENSIONS, AND STRUCTURAL CONDITIONS PRIOR TO CONSTRUCTION.

KEYNOTES

- INTERIOR BEARING WALL
- 22"x30" ATTIC ACCESS
- VAULT BUILT INTO TRUSS
- COFFER BUILT INTO TRUSS
- ATTACH TOP PLATE AT WALL BRACED PANEL LOCATION TO TRUSS w/ BLOCKING @ 16" O.C.

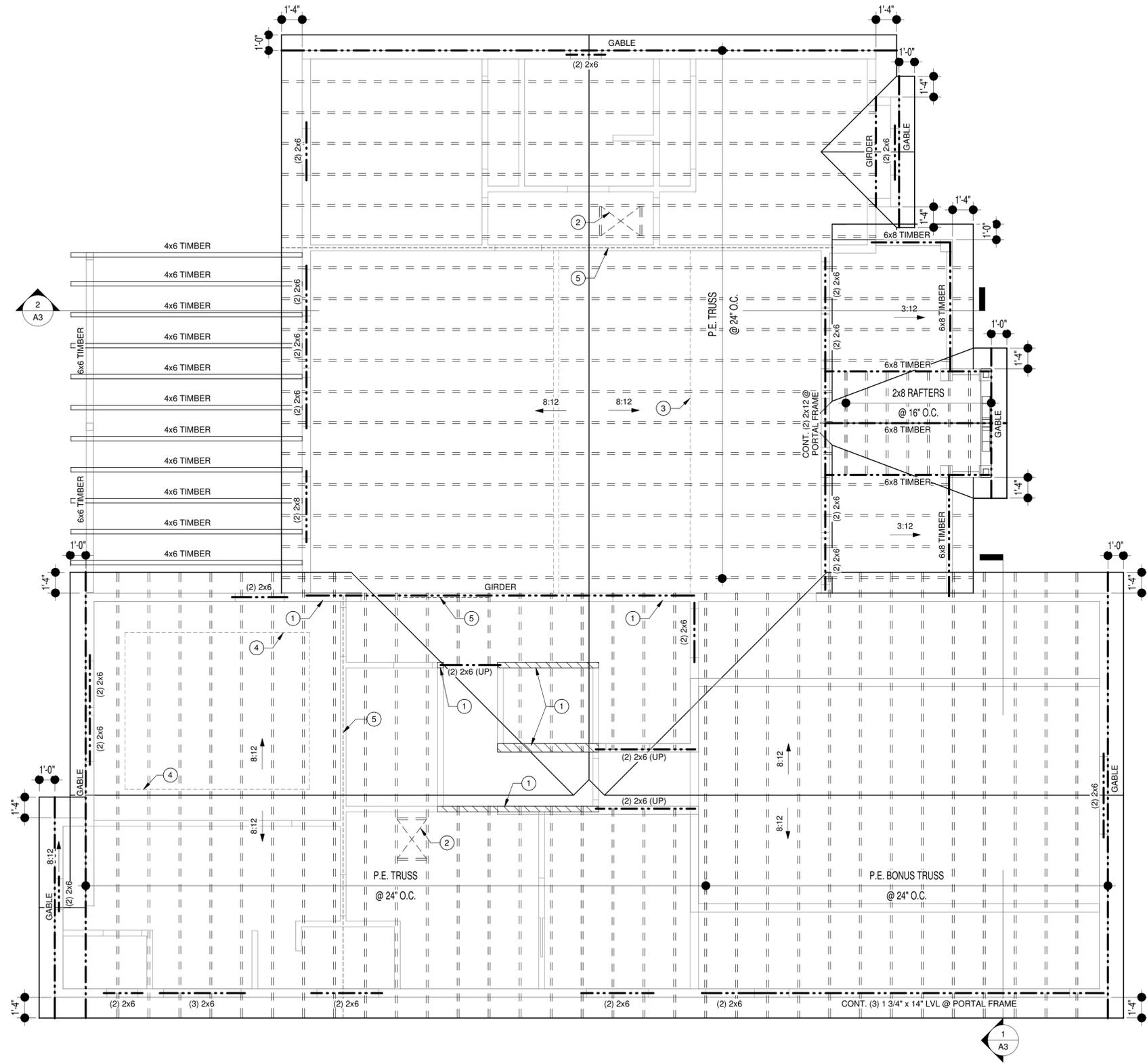
ROOF VENT CALCULATIONS

ATTIC VENTILATION AS FOLLOWS:

ROOF: 3,176 S.F. x 1/300 = 10.59 S.F./ 1,524 Sq. In. OF FREE AREA.

HIGH VENTILATION: 762 Sq. In. OF FREE AREA USING 13 ROOF VENTS @ 60 Sq. In. FREE AREA EACH VENT. HIGH VENTILATION SHALL BE PROVIDED NO MORE THAN 3-FEET BELOW RIDGE OR HIGHEST POINT OF VENTILATION.

SOFFIT VENTILATION: 762 Sq. In. OF FREE AREA USING 12 SCREENED SOFFIT VENTS @ 65 Sq. In. FREE AREA EACH.



ROOF PLAN

1/4" = 1'-0"



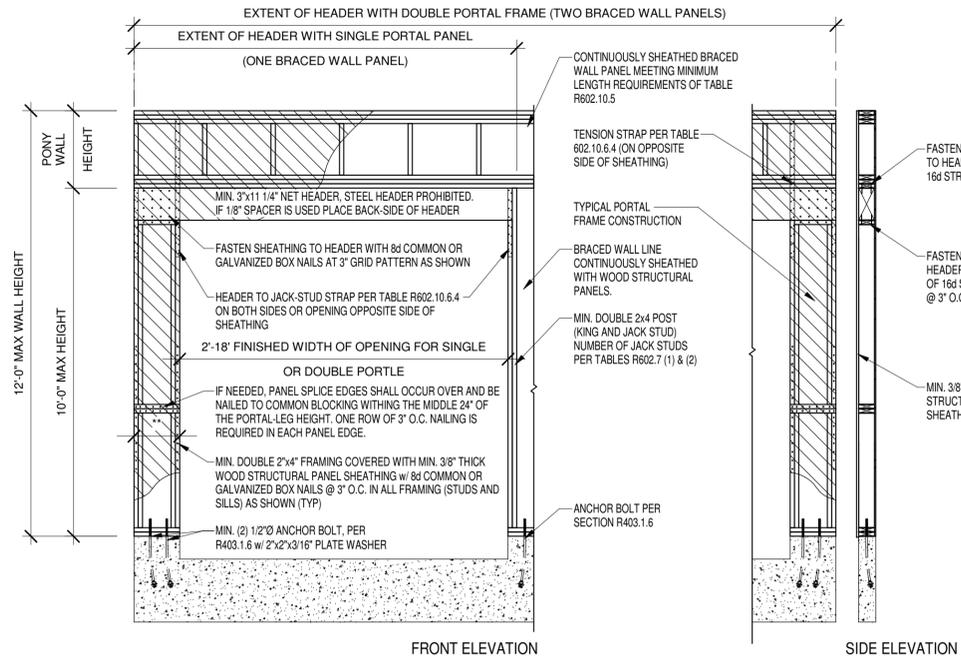
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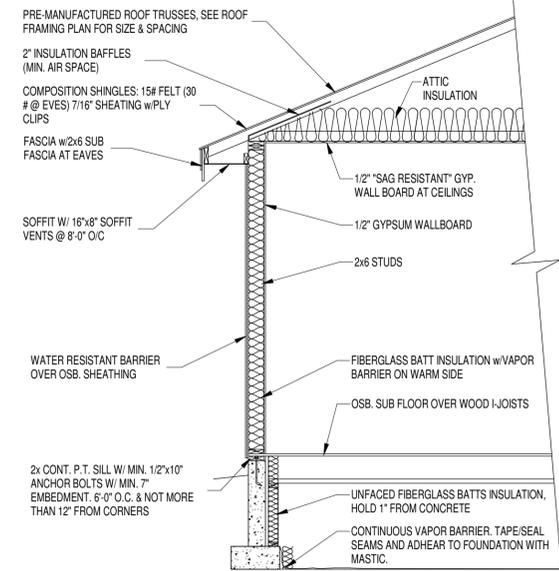
OLD HIGHWAY 30
PARCEL #R38152010
CANOYN COUNTY CALDWELL IDAHO
ROOF/FLOOR FRAMING PLAN

Project	Date
21-063	03.29.2021

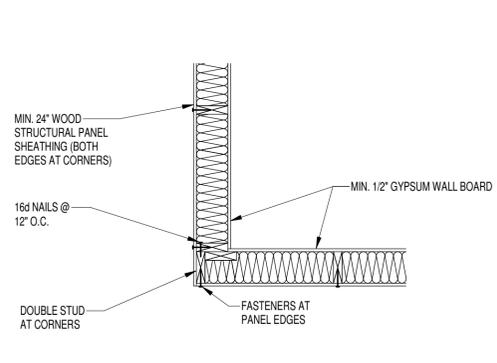
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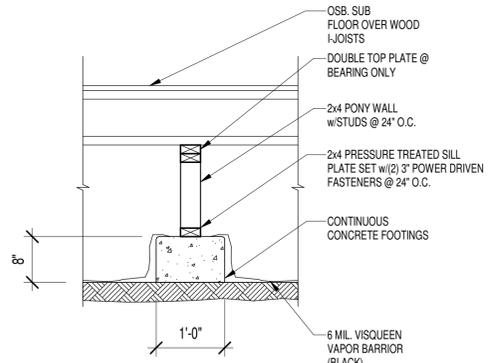
B PORTAL FRAME "CS-PF"
 3/8" = 1'-0"



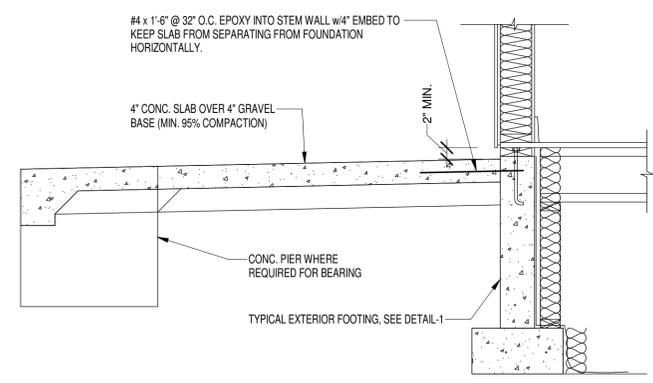
A WALL SECTION
 3/8" = 1'-0"



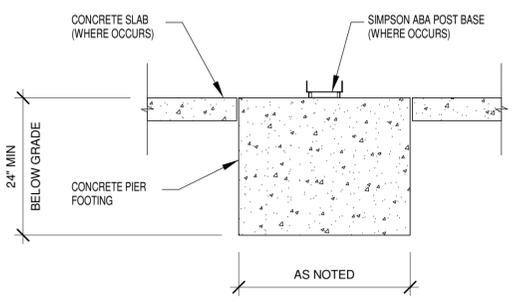
6 OUTSIDE CORNER
 3/4" = 1'-0"



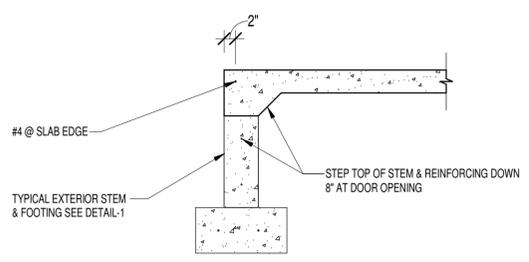
4 INTERIOR FOOTING
 3/4" = 1'-0"



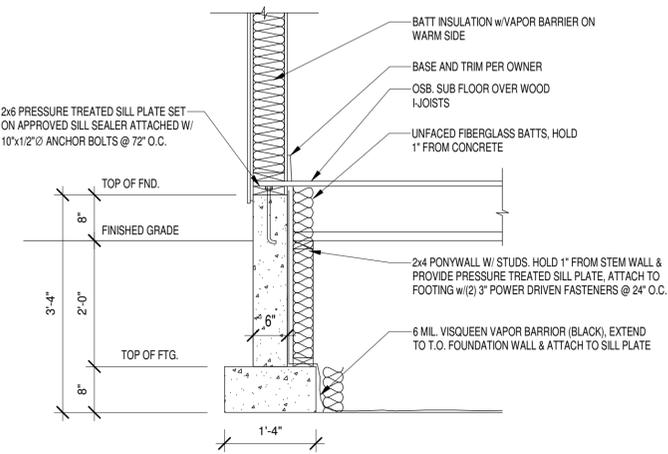
2 PORCH/PATIO SECTION
 3/4" = 1'-0"



5 PIER FOOTING
 3/4" = 1'-0"



3 GARAGE SLAB
 3/4" = 1'-0"



1 EXTERIOR FOOTING
 3/4" = 1'-0"



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GARAGE	684

CONTRACTOR

OLD HIGHWAY 30
 PARCEL #R38152010
 CANOYN COUNTY CALDWELL IDAHO

DETAILS

Project	Date
21-063	03.29.2021

Sheet
S4

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WALL TYPES

EXTERIOR WALL - TYPICAL
 1/2" GYP. BD. (MIN.)
 2x6 STUDS @ 16" O.C.
 DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
 BATT. INSULATION W/ VAPOR RETARDER
 SEE BRACED WALL SCHEDULE (WHERE REQ'D)

INTERIOR NON-BEARING WALL
 1/2" GYP. BD. (MIN.)
 2x4 STUD @ 24" O.C.
 1/2" GYP. BD. (MIN.)

INTERIOR BEARING WALL
 1/2" GYP. BD. (MIN.)
 2x4 STUD @ 16" O.C.
 DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
 1/2" GYP. BD. (MIN.)

WINDOW HEIGHTS

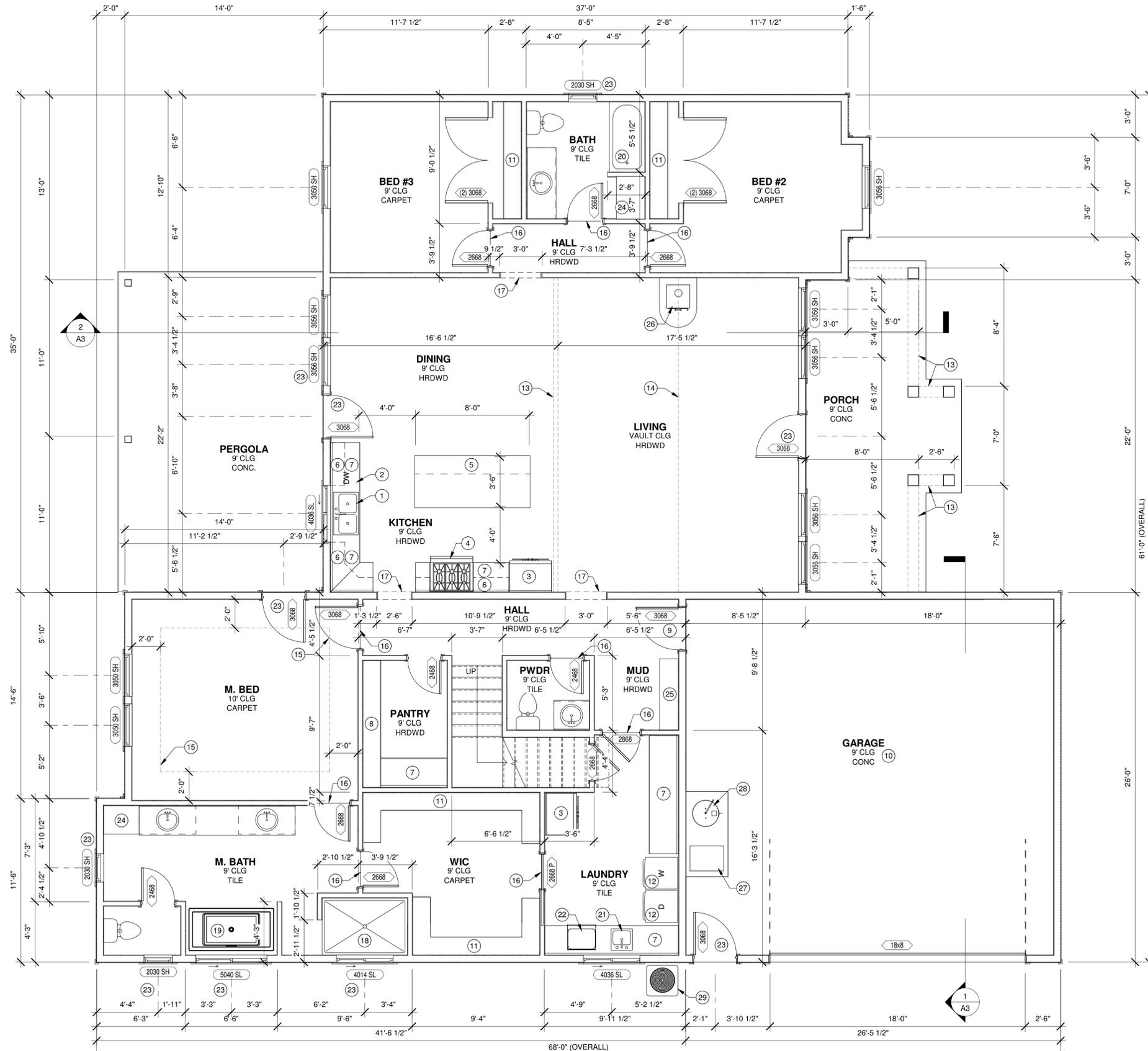
- WINDOW HEAD HEIGHT SHALL BE 7'-4" U.N.O.

GENERAL NOTES

- INSTALL GAS FIRED EQUIPMENT SUCH THAT IGNITION SOURCE IS 18" A.F.F. MIN.

KEYNOTES

- DOUBLE SINK w/ DISPOSAL
- DISHWASHER
- REFRIGERATOR OPENING PLUMB FOR ICE
- RANGE w/ HOOD
- KITCHEN ISLAND
- UPPER CABINETS
- BASE CABINETS
- BUILT-IN SHELVES (VERIFY w/ BUILDER)
- SELF CLOSING 20 MIN. FIRE RATED DOOR
- 5/8" TYPE "X" GYPSUM WALL BOARD REQUIRED ON ALL COMMON WALLS CEILING BETWEEN GARAGE AND DWELLING
- CLOSET SHELF SYSTEM (VERIFY w/ BUILDER)
- WASHER AND DRYER (N.I.C.)
- FURR-DOWN BY FRAMER
- HIGH POINT OF VAULT
- COFFER BUILT INTO TRUSS
- LINE OF FLOORING MATERIAL TRANSITION
- CASED / ARCHED OPENING
- TILE WALK-IN SHOWER
- FREESTANDING TUB
- FIBERGLASS TUB w/ TILE SURROUND
- UTILITY SINK IN BASE CABINET
- APRON SINK IN BASE CABINET
- TEMPERED GLASS
- TALL LINEN CABINET
- BENCH
- WOOD STOVE (VERIFY w/ BUILDER)
- FURNACE
- ELECTRIC WATER HEATER
- AC CONDENSER



MAIN FLOOR PLAN

1/4" = 1'-0"



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PORCH	198
GARAGE	684

CONTRACTOR

OLD HIGHWAY 30
 PARCEL #R38152010
 CANOYN COUNTY CALDWELL IDAHO
MAIN FLOOR PLAN

Project	Date
21-063	03.29.2021

Sheet
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2x6 STUDS @ 16" O.C.
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
BATT. INSULATION W/ VAPOR RETARDER
SEE BRACED WALL SCHEDULE (WHERE REQ'D)

INTERIOR NON-BEARING WALL

1/2" GYP. BD. (MIN.)
2x4 STUD @ 24" O.C.
1/2" GYP. BD. (MIN.)

INTERIOR BEARING WALL

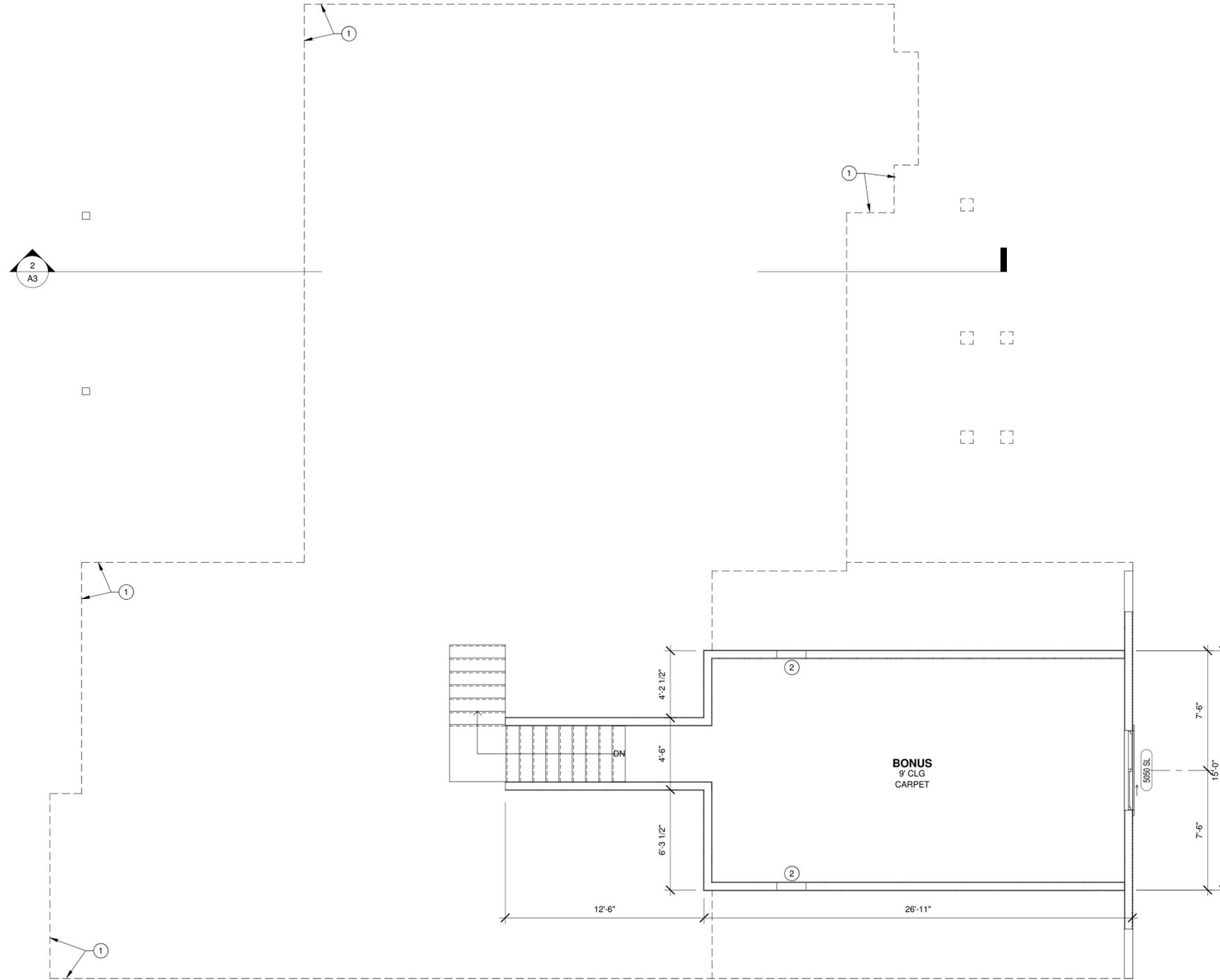
1/2" GYP. BD. (MIN.)
2x4 STUD @ 16" O.C.
DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE
1/2" GYP. BD. (MIN.)

WINDOW HEIGHTS

1. WINDOW HEAD HEIGHT SHALL BE 6'-8" U.N.O.

KEYNOTES

1. LINE OF FLOOR BELOW
2. 22"x30" ATTIC ACCESS



UPPER FLOOR PLAN

1/4" = 1'-0"



SPACE	SQ. FT.
MAIN	2,294
UPPER	404
TOTAL	2,698
PATIO	308
PORCH	198
GARAGE	684

CONTRACTOR

<p>OLD HIGHWAY 30 PARCEL #R38152010 CANOYN COUNTY CALDWELL IDAHO</p> <h1>UPPER FLOOR PLAN</h1>
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Project	Date
21-063	03.29.2021

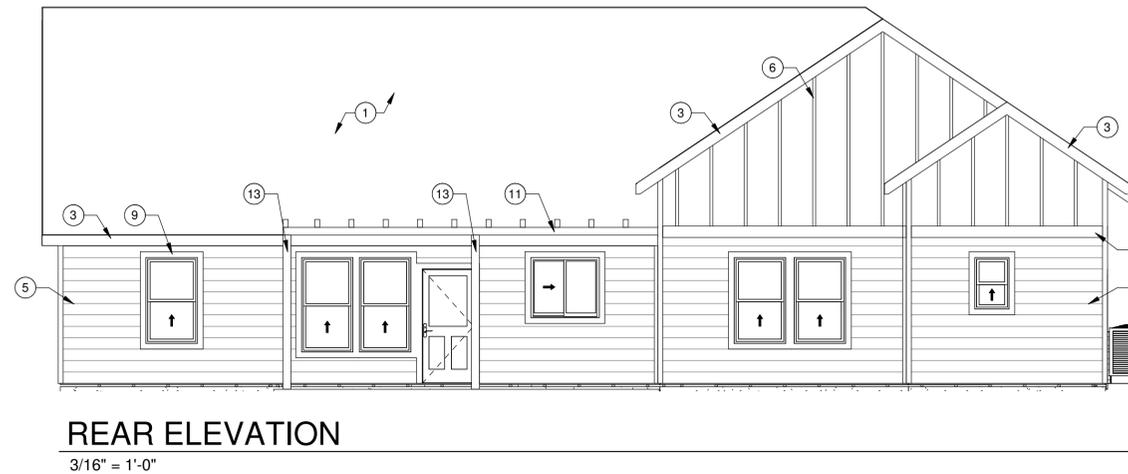
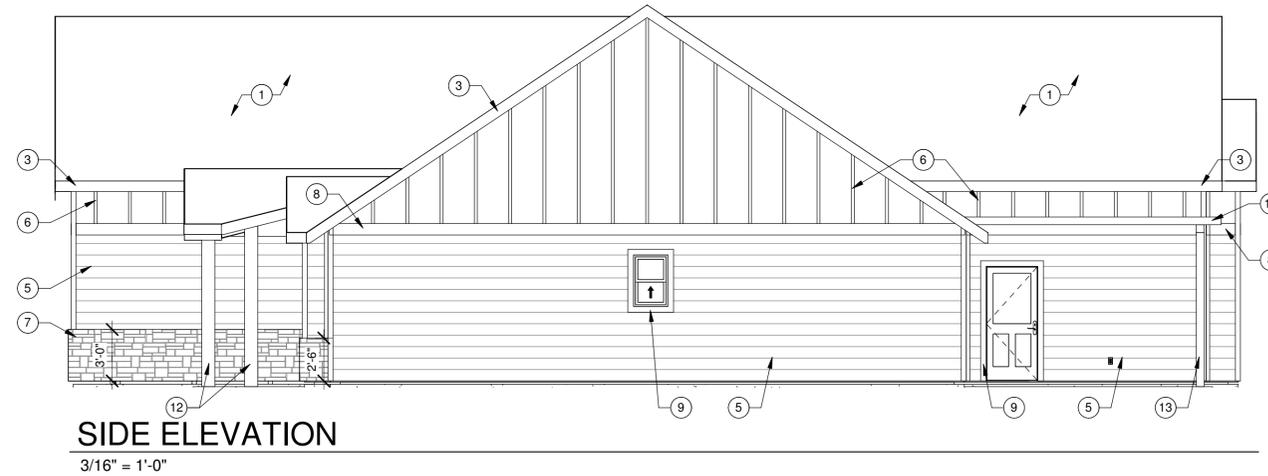
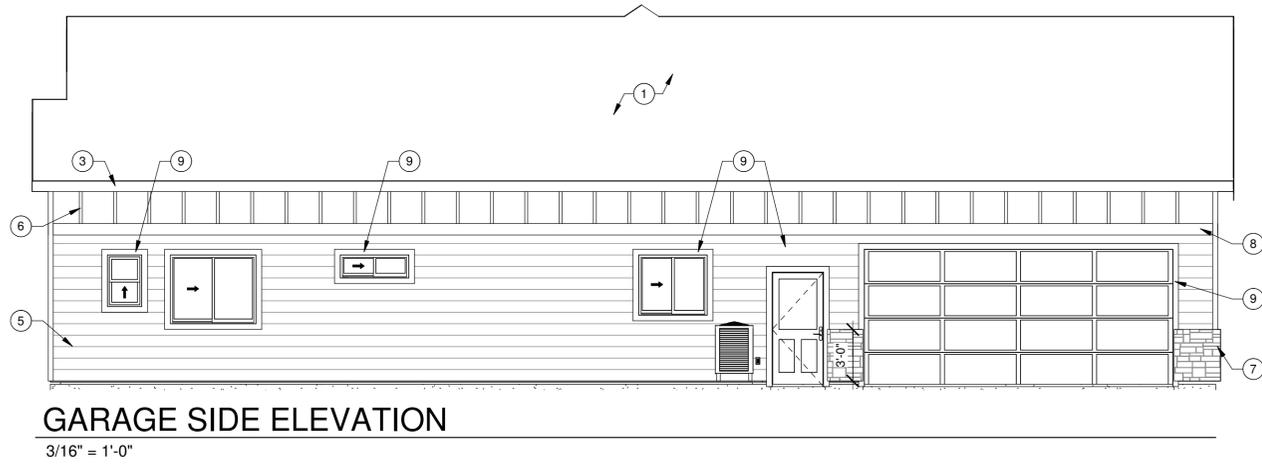
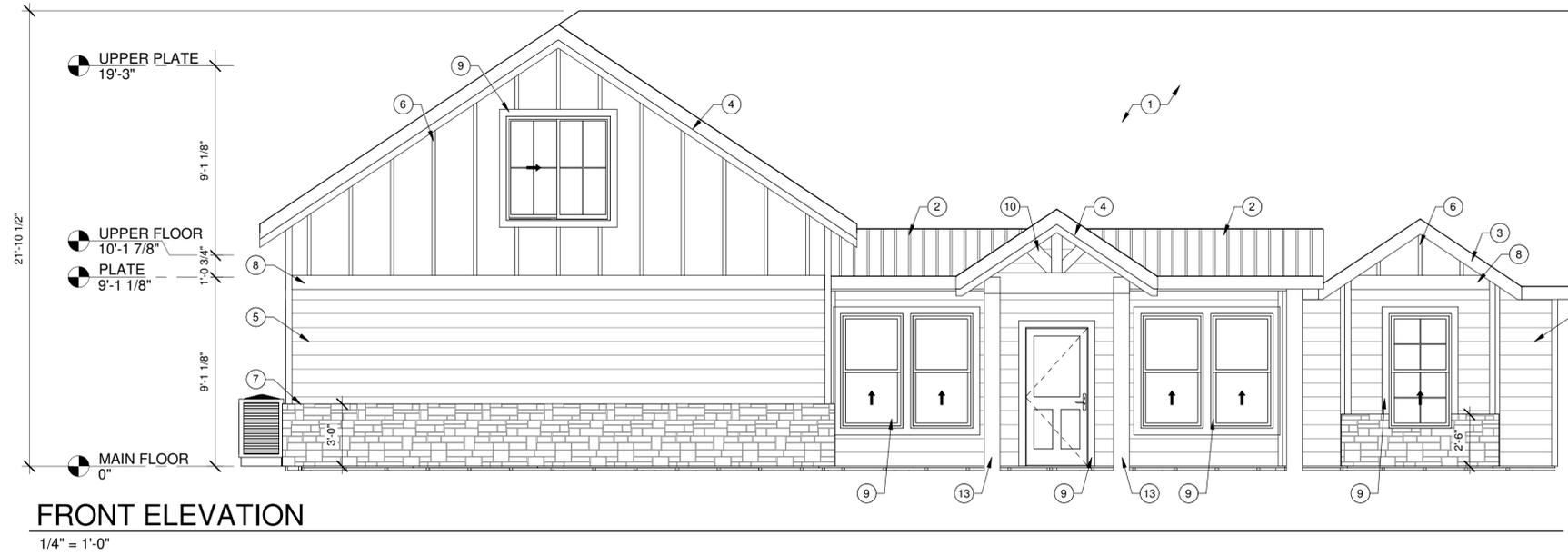
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KEYNOTES

1. 30-YEAR COMPOSITION SHINGLE
2. METAL STANDING SEAM ROOF
3. 8" FASCIA
4. 8" OVER 12" FASCIA
5. LAP SIDING w/ 4" CORNER TRIM
6. BOARD & BATT SIDING w/ 4" CORNER TRIM
7. STONE VENEER
8. 8" TRIM
9. DOOR & WINDOW TRIM - 4" SURROUND
10. GABLE TRIM
11. PERGOLA ROOFING
12. 10x10 TIMBER COLUMN
13. 6x6 TIMBER COLUMN

ROOF DRAINAGE

1. PROVIDE GUTTERS w/ DOWNSPOUTS TO PROVIDE ROOF DRAINAGE TO GRADE AND AWAY FROM FOUNDATION.



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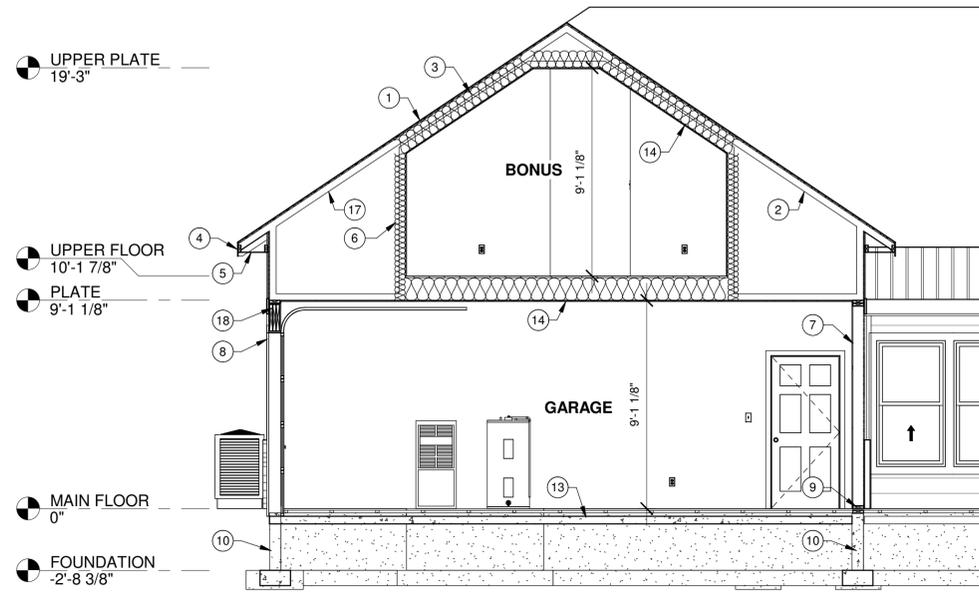
OLD HIGHWAY 30
PARCEL #R38152010
CANOYN COUNTY CALDWELL IDAHO

EXTERIOR ELEVATIONS

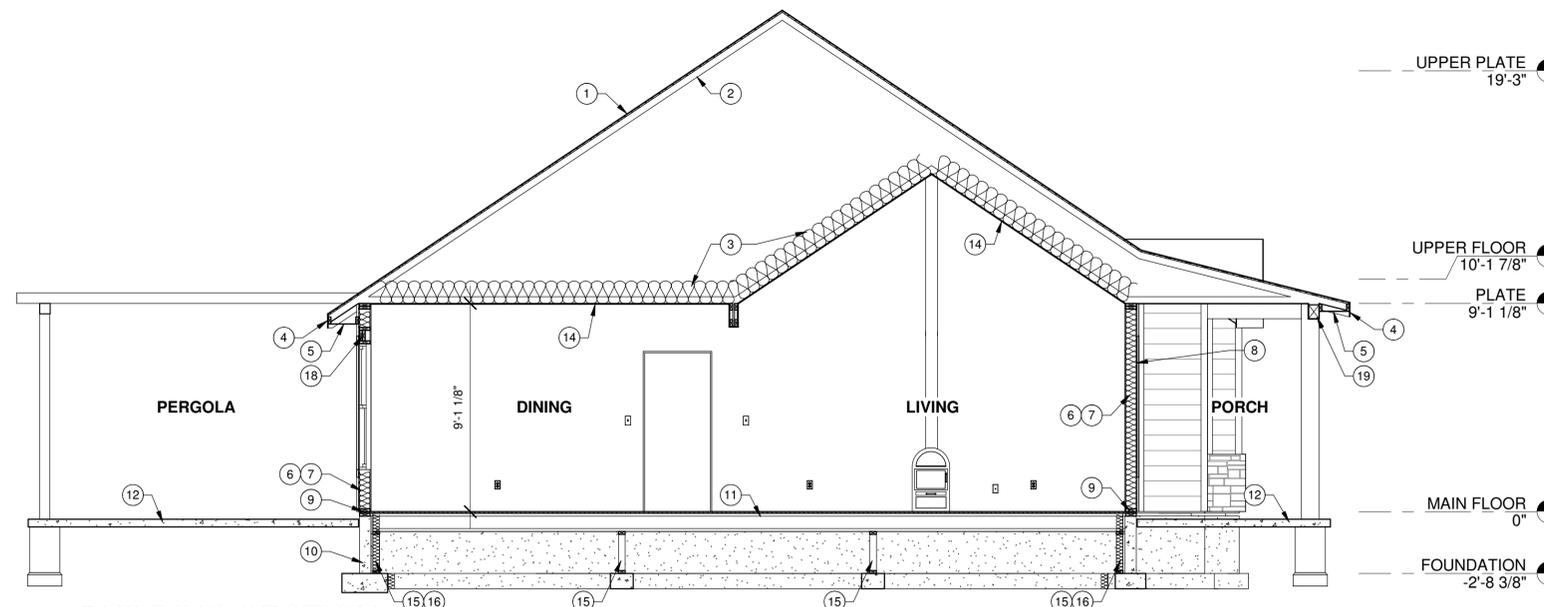
Project	Date
21-063	03.29.2021

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KEYNOTES	#
1. 30 YEAR COMPOSITE SHINGLES @ ROOF SHEATHING	
2. P.E. TRUSSES, SEE ROOF PLAN	
3. ATTIC INSULATION	
4. FASCIA MATERIAL	
5. SOFFIT MATERIAL	
6. BATT INSULATION @ EXTERIOR WALLS	
7. 2x6 STUD WALL	
8. WALL SHEATHING	
9. SILL PLATE	
10. FOUNDATION, SEE FOUNDATION PLAN	
11. FLOOR JOISTS, SEE FOUNDATION PLAN	
12. 4" CONCRETE SLAB	
13. 2x4 STUD WALL	
14. GYPSUM BOARD	
15. PONYWALL ON CONCRETE FOOTING, SEE DETAILS	
16. CRAWLSPACE INSULATION	
17. P.E. BONUS TRUSS, SEE ROOF PLAN	
18. HEADER, SEE ROOF PLAN	
19. BEAM, SEE ROOF PLAN	



1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



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OLD HIGHWAY 30
PARCEL #R38152010
CANOYN COUNTY CALDWELL IDAHO
BUILDING SECTION

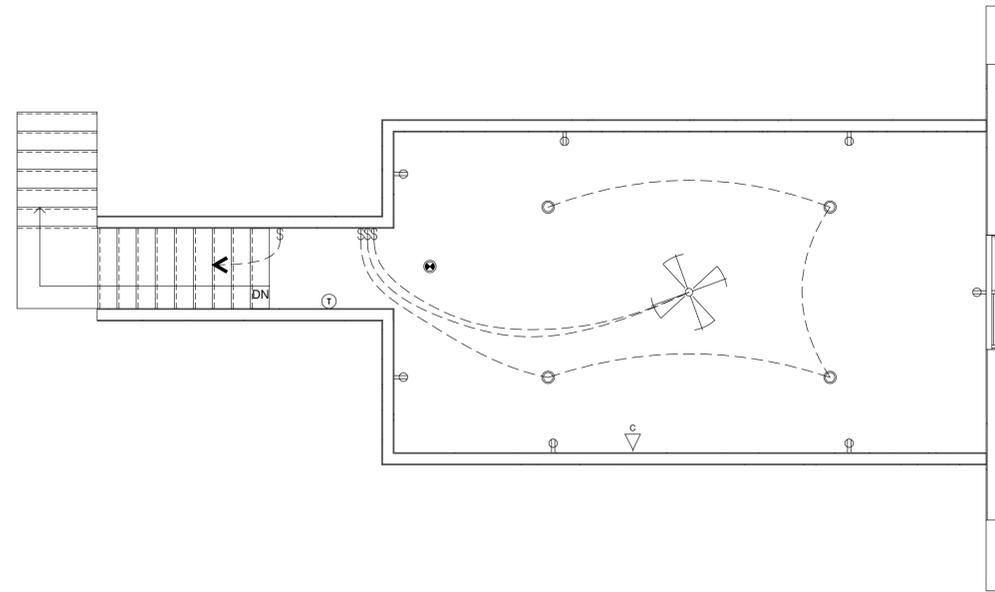
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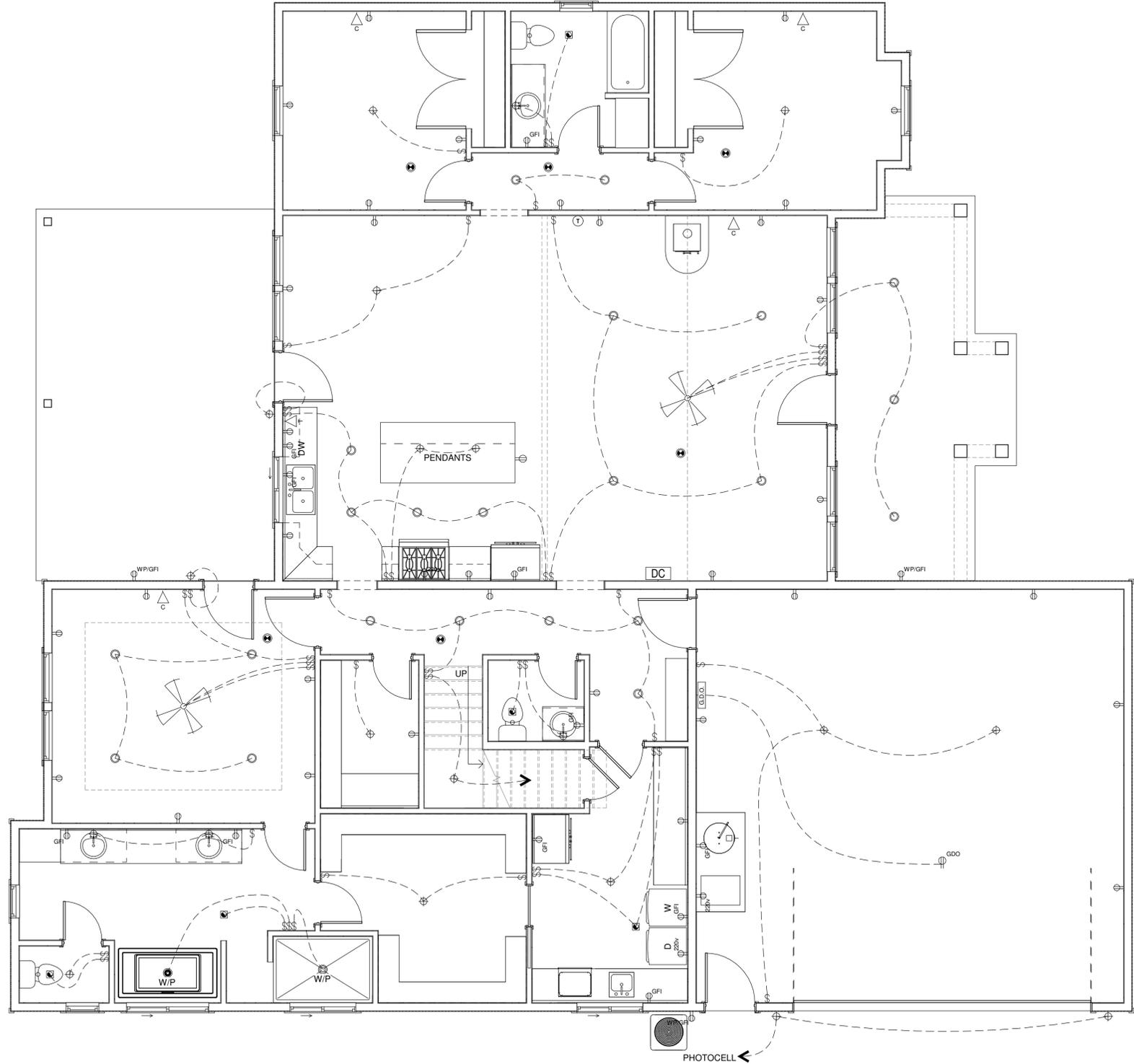
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LEGEND			
	SWITCH		EXHAUST FAN (50 CFM)
	LIGHT FIXTURE		110V. SMOKE/CARBON MONOXIDE DETECTOR
	RECESSED CAN LIGHT		(C) CABLE, (T) TELEPHONE
	RECEPTACLE		G.O.O. GARAGE DOOR OPENER
			CEILING FAN
			HEAT/COOL THERMOSTAT 60" A.F.F.
			DC DOORBELL CHIMES

- NOTES:**
1. THE ELECTRICAL & HVAC DEVICES AND LOCATIONS ARE SCHEMATIC AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL DEVICES AND LOCATIONS SHALL BE DETERMINED BY THE APPLICABLE CODES AND THE BUILDING OFFICIAL.
 2. R314-SMOKE ALARMS SHALL BE INTERCONNECTED AND PROVIDED WITH BATTERY BACKUP.
 3. N1104.1 - 75% OF ALL LAMPS PERMANENT LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY.
 4. M1507 - MINIMUM EXHAUST RATES: 50 CFM BATHROOM EXHAUST, 100 CFM RANGE EXHAUST.



UPPER ELECTRICAL PLAN
1/4" = 1'-0"



MAIN ELECTRICAL PLAN
1/4" = 1'-0"



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OLD HIGHWAY 30
PARCEL #R38152010
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MAIN ELECTRICAL PLAN

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