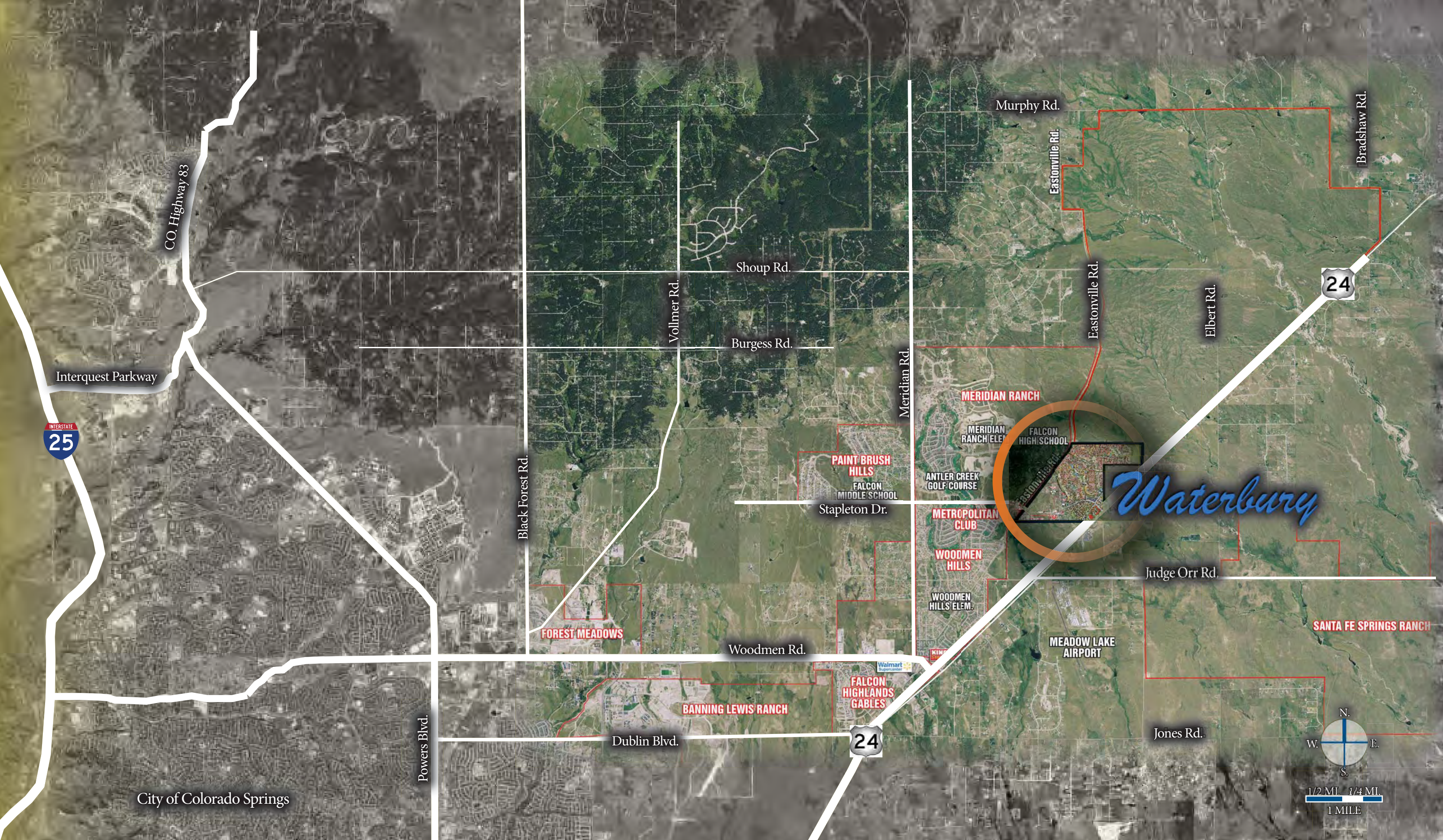




Waterbury

live... play... explore...





Waterbury... is an amenity based Master Planned Community located within the unincorporated Falcon area of El Paso County, Colorado. Convenient access is provided from State Highway 24 at Stapleton Drive, just twenty minutes from downtown Colorado Springs.

At build-out, the 322 acre Community of Waterbury will be comprised of 1,010 new homes. Each neighborhood will include a wide selection of homes, creating numerous product and price point opportunities for builders, while establishing a variety of options to meet the needs of home buyers and family demographics. All neighborhoods will be linked to the expansive system of trails, parks, open space, waterways, and community centers which cover nearly ¼ of the Waterbury Community. Each Village will include five distinctive lot products, with lot sizes ranging from 4,400 to 10,000 square feet. All streets within the community will be public and will be dedicated to the county, alleys will remain private.

Some neighborhood areas will emphasize a maintenance-free lifestyle, while others will provide for larger homes and three car garages to meet the needs of expanding families. Many of the uniquely designed home sites will have water frontage, some will have water views, and all will have convenient trail connections to the neighborhood community centers and recreation corridors.

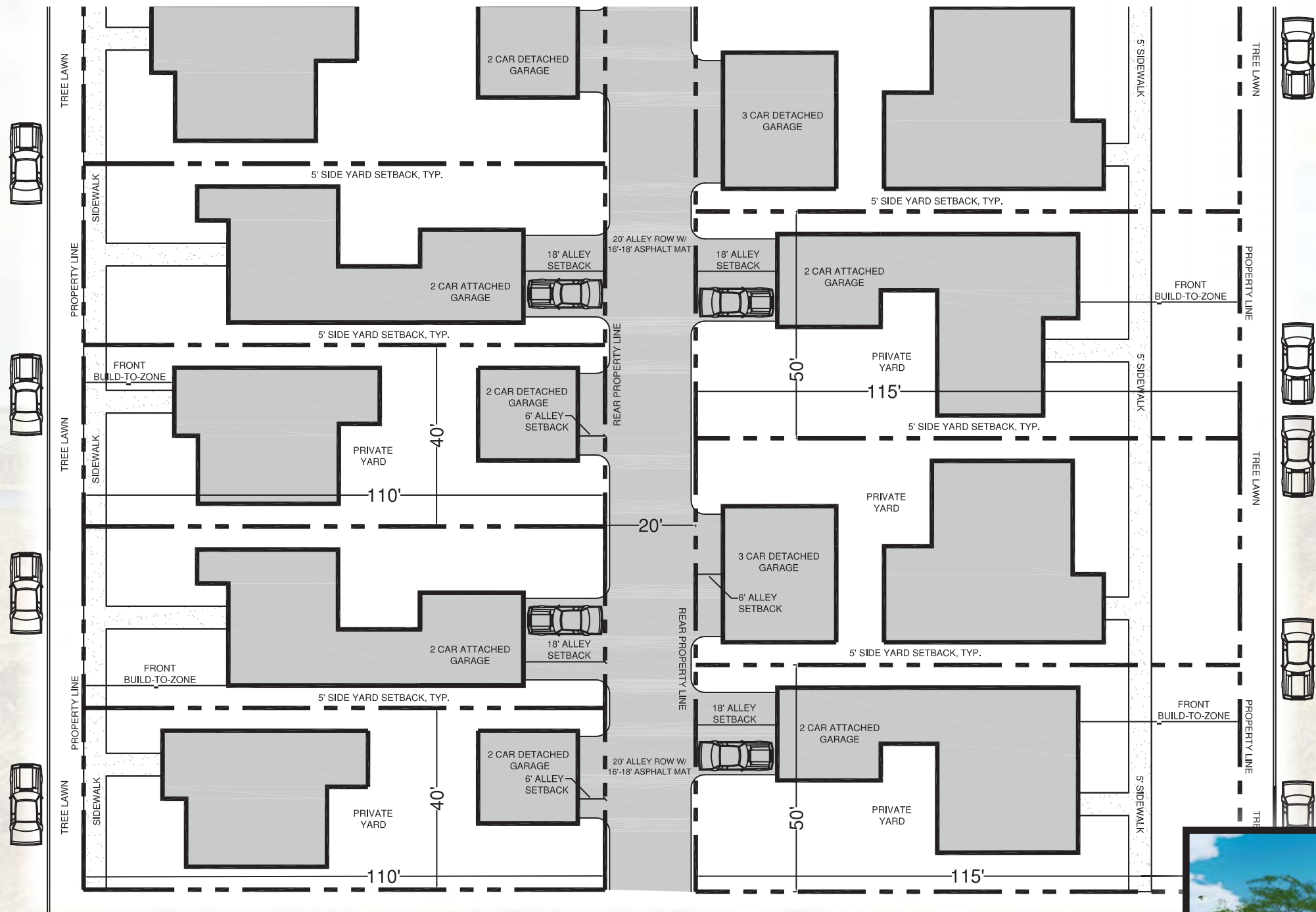
The Waterbury Community Centers will include pools, splash pads, parks, tennis courts, walking trails, and recreation areas for the exclusive use of Waterbury residents. Operations and maintenance of the community facilities, amenities, trails, and open space will be provided by the 4 Way Ranch Metropolitan District and by the Master Homeowners Association.

The Architectural and Landscape Guidelines and Standards will establish a community with continuity and consistency, while protecting the integrity of the neighborhoods and the community as a whole. The expansive open space, recreation areas, and community centers compliment the unique water themed landscape, and along with the variety of options for home ownership, set the Waterbury Community apart from all others.



REAR-LOADED LOT 40' X 110'

REAR-LOADED LOT 50' X 115'



REAR-LOADED LOT 40' X 110' MINIMUM
REAR-LOADED LOT 50' X 115' MINIMUM

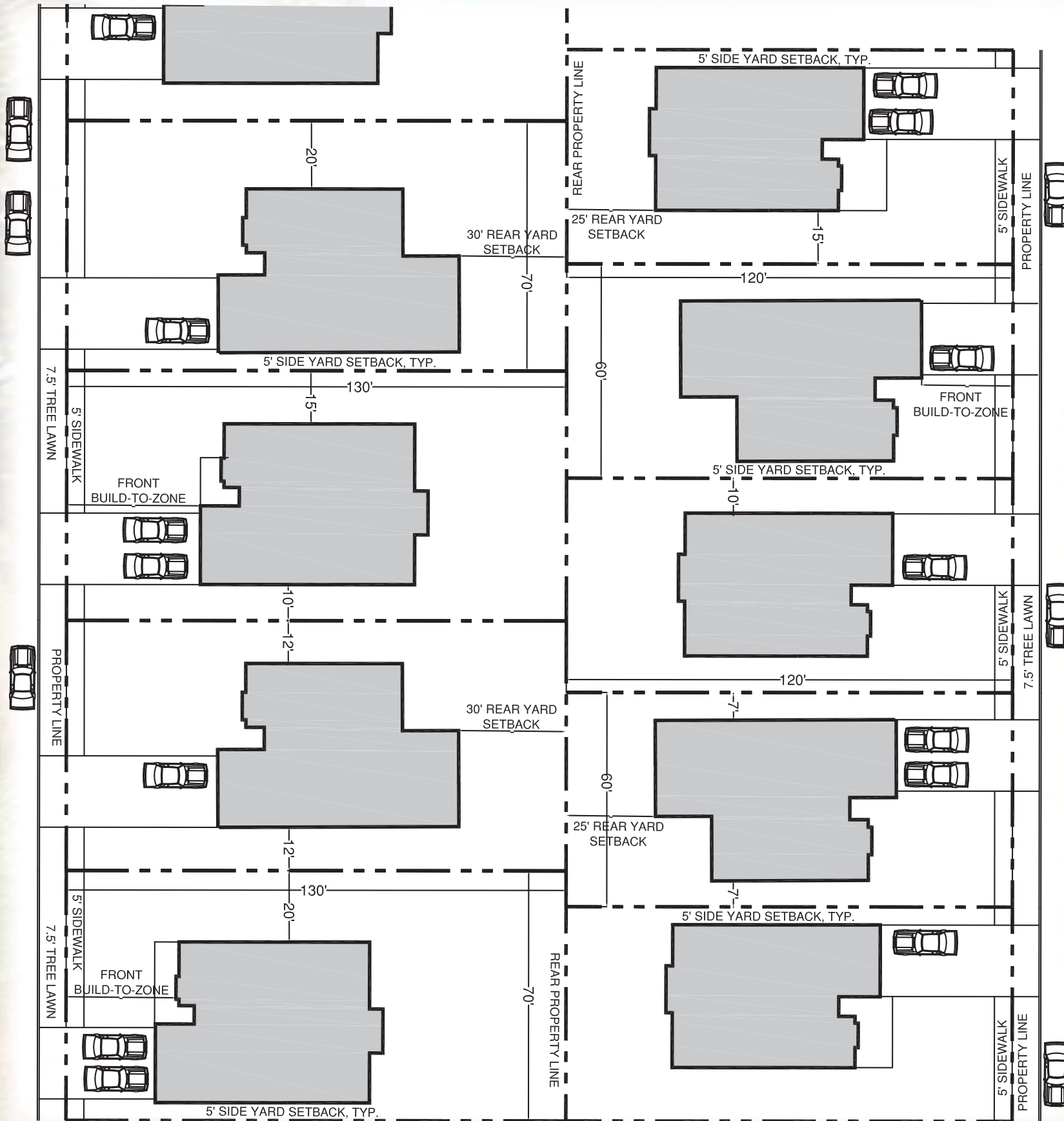
- Attached or Detached Garage
- Minimum Lot Area: 4,400
- Maximum Percentage of Lot Coverage: 60%
- Maximum structure height: 35'
- Minimum Width of lot at Front Building Setback Line: 30'
- Minimum Width of lot at Alley: 20'
- Build-to-Zone: A portion of the principal structure, including porches, must be within or touch the build-to-zone.
- Interior Side Yard Setback Requirements: 5' Minimum as measured from the property line.
- Corner Lot Side Yard Setback Requirements: 5' Minimum as measured from the electrical easement.
- Alley Garage Setback Requirements: To be 6' or 18' and beyond as measured from the rear property line.
- All fencing and landscaping must meet the requirements of the PUD and Design Guidelines. Covenants will enforce the design guidelines.



Streetscape

**SINGLE-FAMILY ESTATE
LOT 70' X 130'**

**SINGLE-FAMILY CONVENTIONAL
LOT 60' X 120'**



SINGLE-FAMILY CONVENTIONAL LOT 60' X 120' MINIMUM

- Minimum Lot Area: 7,200
- Maximum Percentage of Lot Coverage: 35%
- Maximum structural height: 35'
- Minimum Width of lot at Front Building Setback Line: 30'
- Build-to-Zone: A portion of the principal structure, including porches, must be within or touch the build-to-zone.
- Interior Side Yard Setback Requirements: 5' Minimum as measured from the property line.
- Corner Lot Side Yard Setback Requirements: 5' Minimum as measured from the electrical easement.
- Rear Yard Setback Requirements: 25' as measured from the rear property line.
- All fencing and landscaping must meet the requirements of the PUD and Design Guidelines. Covenants will enforce the design guidelines.

SINGLE-FAMILY ESTATE LOT 70' X 130' MINIMUM

- Minimum Lot Area: 9,450
- Maximum Percentage of Lot Coverage: 25%
- Maximum structure height: 35'
- Minimum Width of lot at Front Building Setback Line: 30'
- Build-to-Zone: A portion of the principal structure, including porches, must be within or touch the build-to-zone.
- Interior Side Yard Setback Requirements: 5' Minimum as measured from the property line.
- Corner Lot Side Yard Setback Requirements: 5' Minimum as measured from the electrical easement.
- Rear Yard Setback Requirements: 30' as measured from the rear property line.
- All fencing and landscaping must meet the requirements of the PUD and Design Guidelines. Covenants will enforce the design guidelines.





Community Center

Pool Area



- Community Centers, pools and splash pads, and tennis courts
- Majority of home sites adjacent to acres of open space and scenic waterways
- Native landscaping planted throughout the community
- Building sites designed to accommodate a variety of life styles including maintenance-free living, large 1/4 acre lots, single level and multi-level homes
- Remarkable views of the front range in quiet resort-style setting
- Extensive multi-use common areas and open space for walking, hiking, running, and other recreational uses
- Connections to adjacent regional trail corridors
- Architectural guidelines to maintain community integrity

Community Park





Falcon High School

Eastonville Road

PHASE 2

PHASE 3

PHASE 5

Community Center

Community Center

PHASE 4

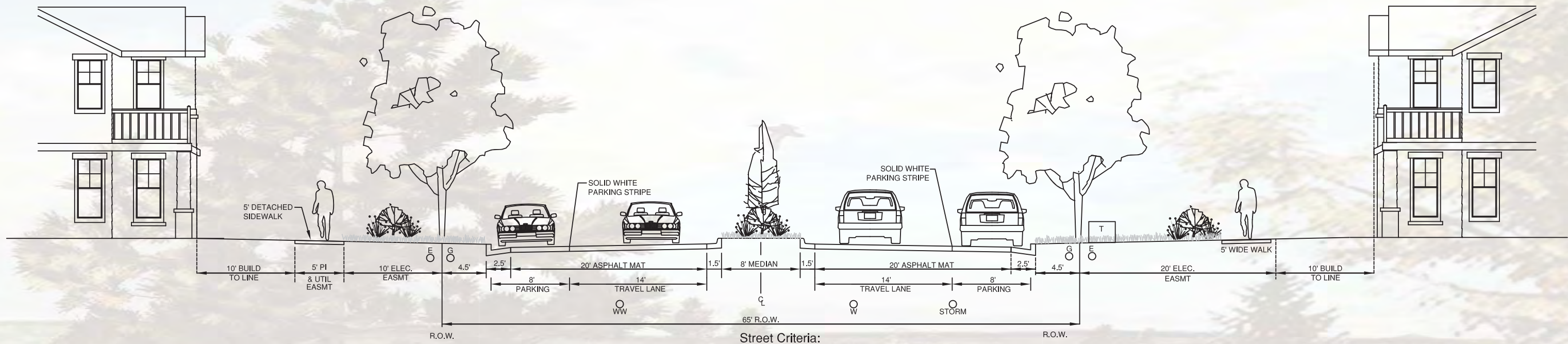
PHASE 1

Stapleton Road

CO. Highway 24

	Rear-Loaded	40' x 110'
	Rear-Loaded	50' x 115'
	Conventional	60' x 120'
	Conventional	65' x 125'
	Estate	70' x 130'



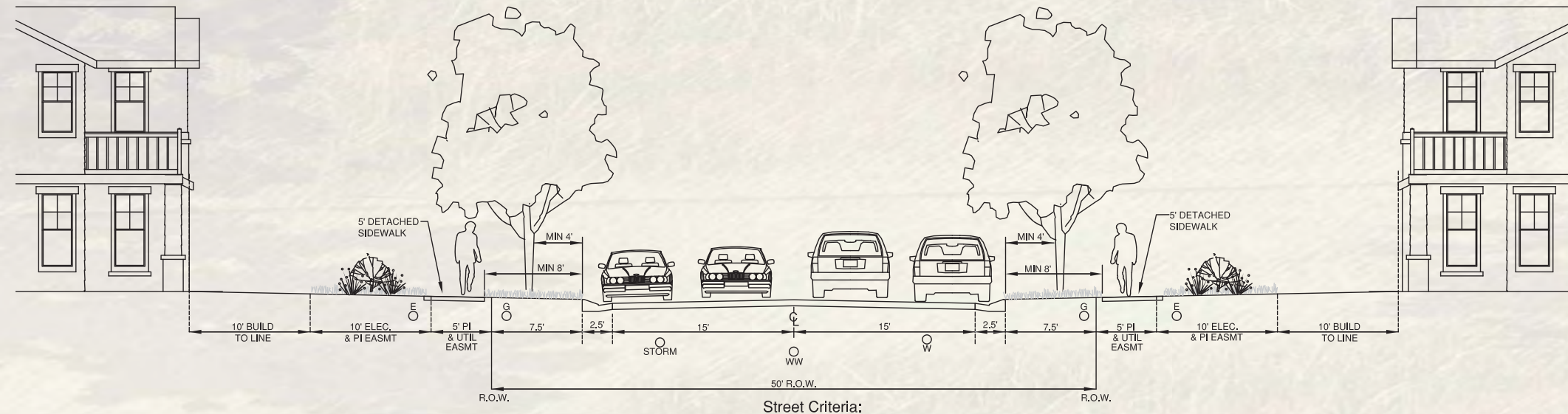
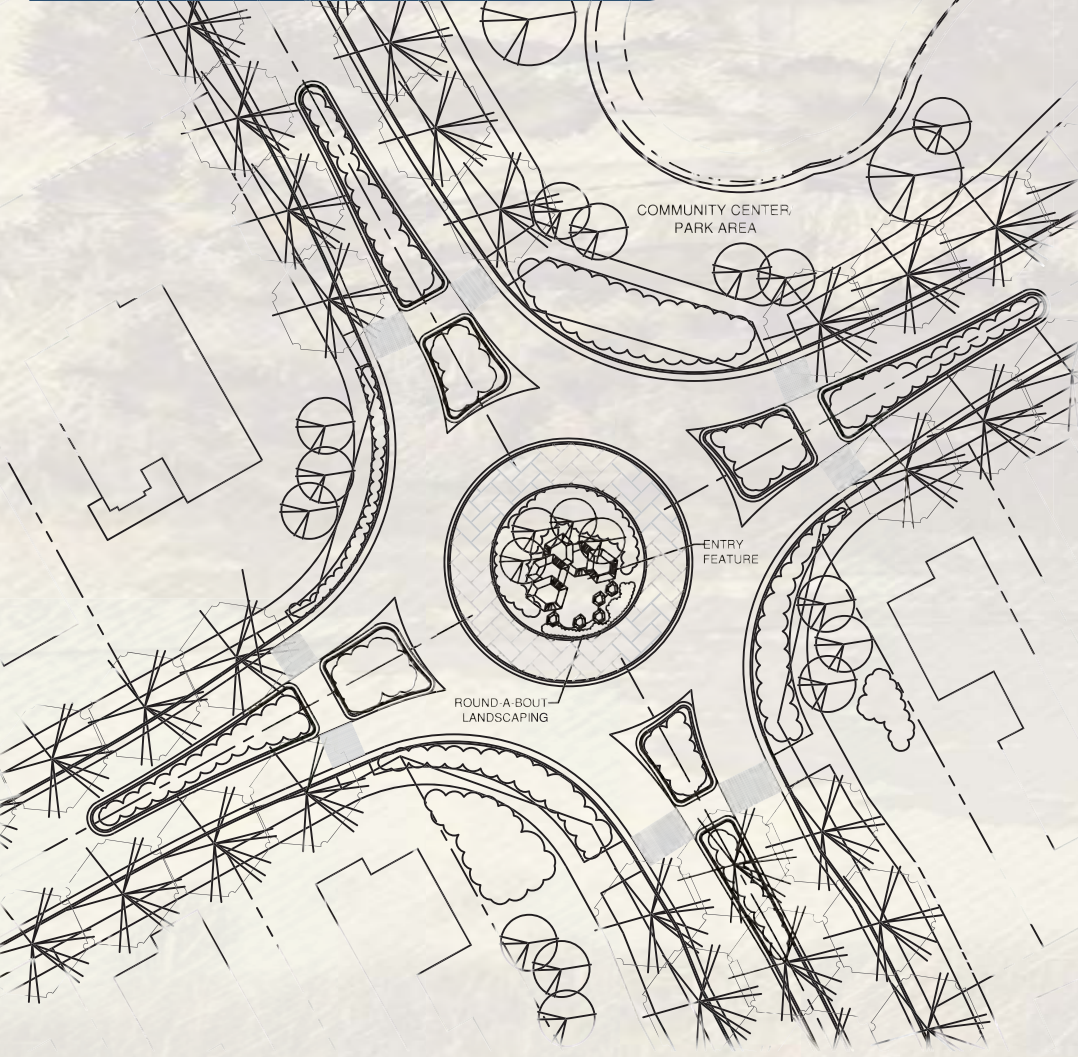


Street Criteria:

Street Width:	20' asphalt mat, each direction
Median Width:	8' Minimum
Parking:	8' Wide Parking Area/ Parallel only.
Design Volume:	10,000 Vehicles Per Day (VPD)
Minimum Horizontal Radius:	300'
Design Speed/ Posted Speed:	35/ 30 MPH
Type of Curb/ Gutter:	Min 6" Vertical

Collector Street Section

Roundabout Concept



Street Criteria:

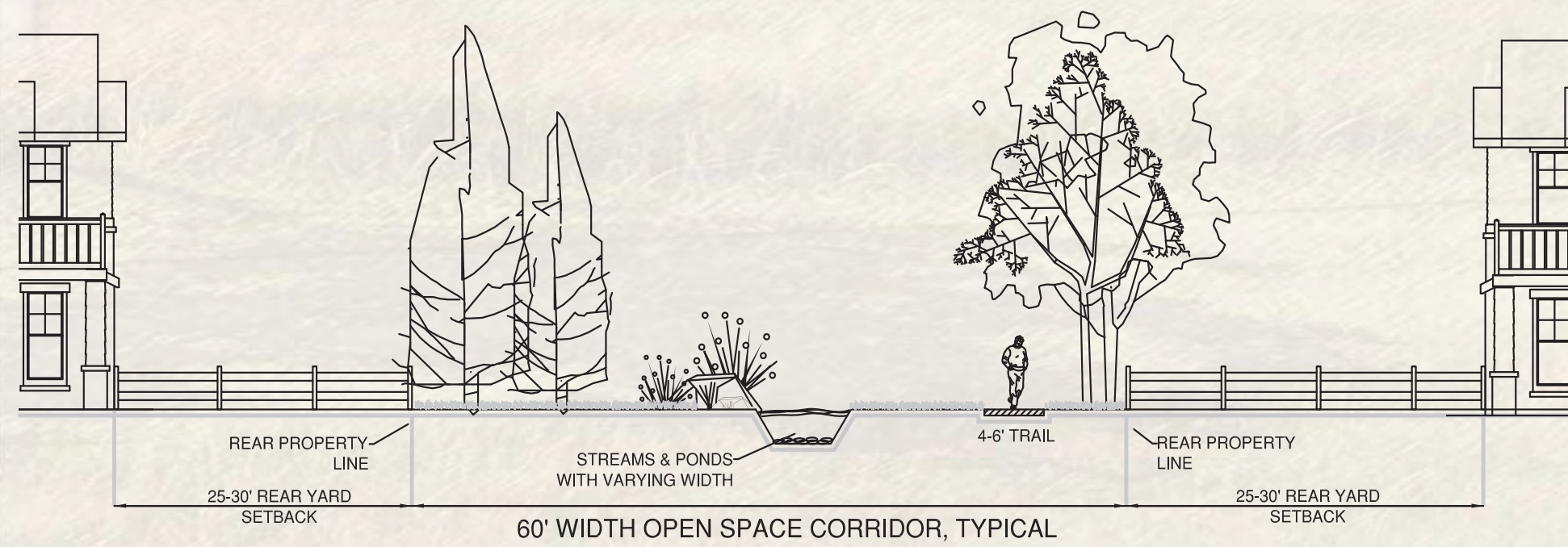
Street Width:	30' mat
Parking:	Parallel only, 2 sides
Design Volume:	3,000 Vehicles Per Day (VPD)
Minimum Horizontal Radius:	200'
Design Speed/ Posted Speed:	25/ 25 MPH
Type of Curb/ Gutter:	Min 6" Vertical or Ramp

Local Street Section



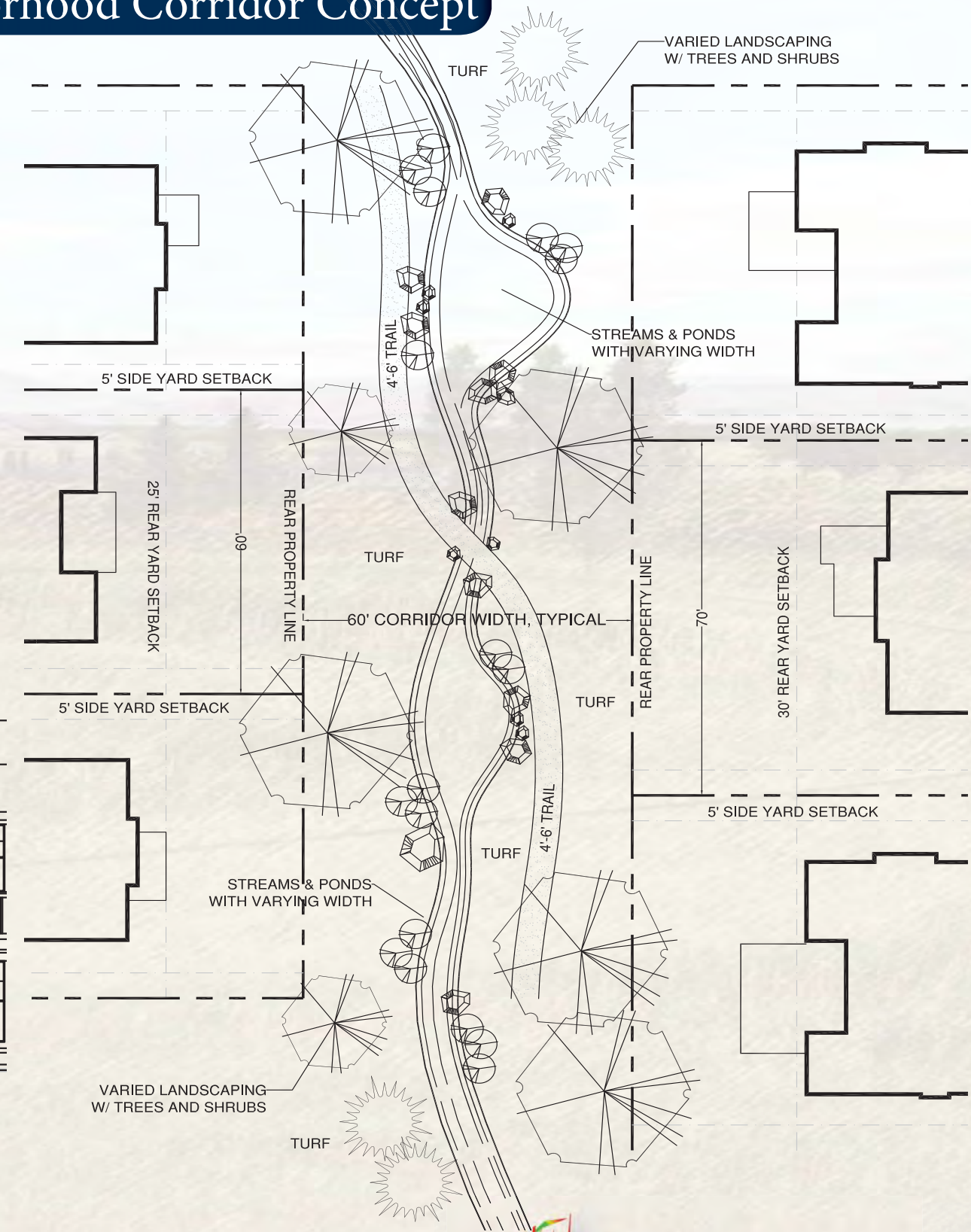
Trail Section

The Waterbury Community is within 4 Way Ranch Metro District No. 1. The District was organized in 2005 to serve the needs of the new community. The primary purpose of the District is to provide central water and wastewater, as well as other improvements and services for the use and benefit of the District's inhabitants and taxpayers. The District has estimated 35 mils over a 30-year period to pay for capital improvements, with an additional operations levy of 10 mils. The District will maintain the majority of the improvements including landscaping, parks, trails, open space and other recreational and community areas.



Neighborhood Corridor Section

Neighborhood Corridor Concept



Landscape Details





Picnic spaces abound and gathering areas invite, as do areas for tossing a Frisbee, or maybe a neighborhood game of softball or flag football



Interior Trails

Recreation Areas





13 *explore... miles of trails and open space*



Neighborhood Corridors







Enjoy over 75 acres of open space, explore the extensive system of trails, and walk along meandering streams and ponds. Jog or ride your bike to one of the regional trail connections.

Follow your favorite trail to a friend's for dinner..... meet neighbors at one of the many gathering places.....take a swim at the community pool or enjoy a game of tennis.....bask in the glow of a Colorado sunset with panoramic views of the front range.

It's all here..... **Waterbury**



